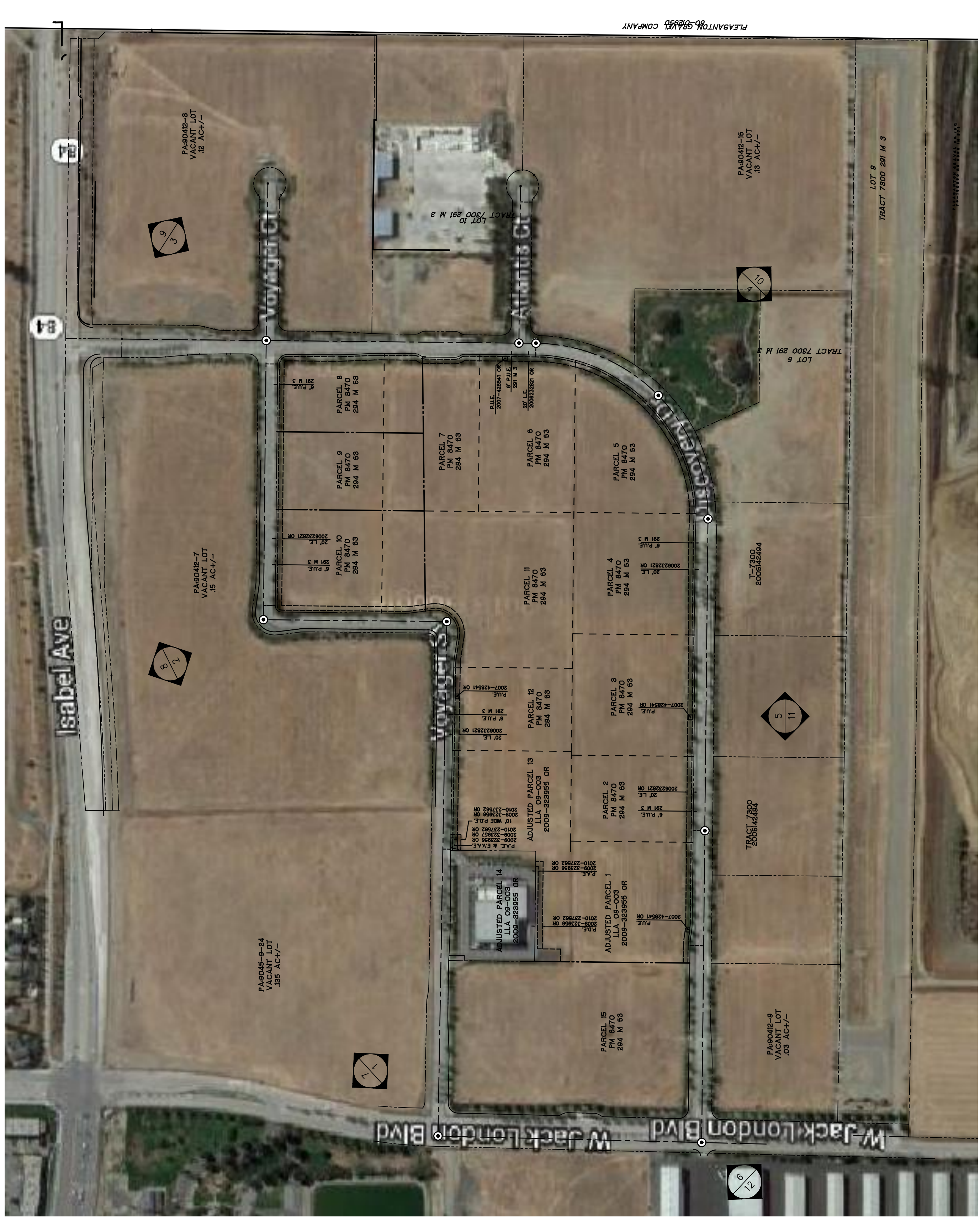


# Manufacturing Facility, Oaks Business Park

450 DISCOVERY DR.  
LIVERMORE, CALIFORNIA 94550  
PLANNING SET

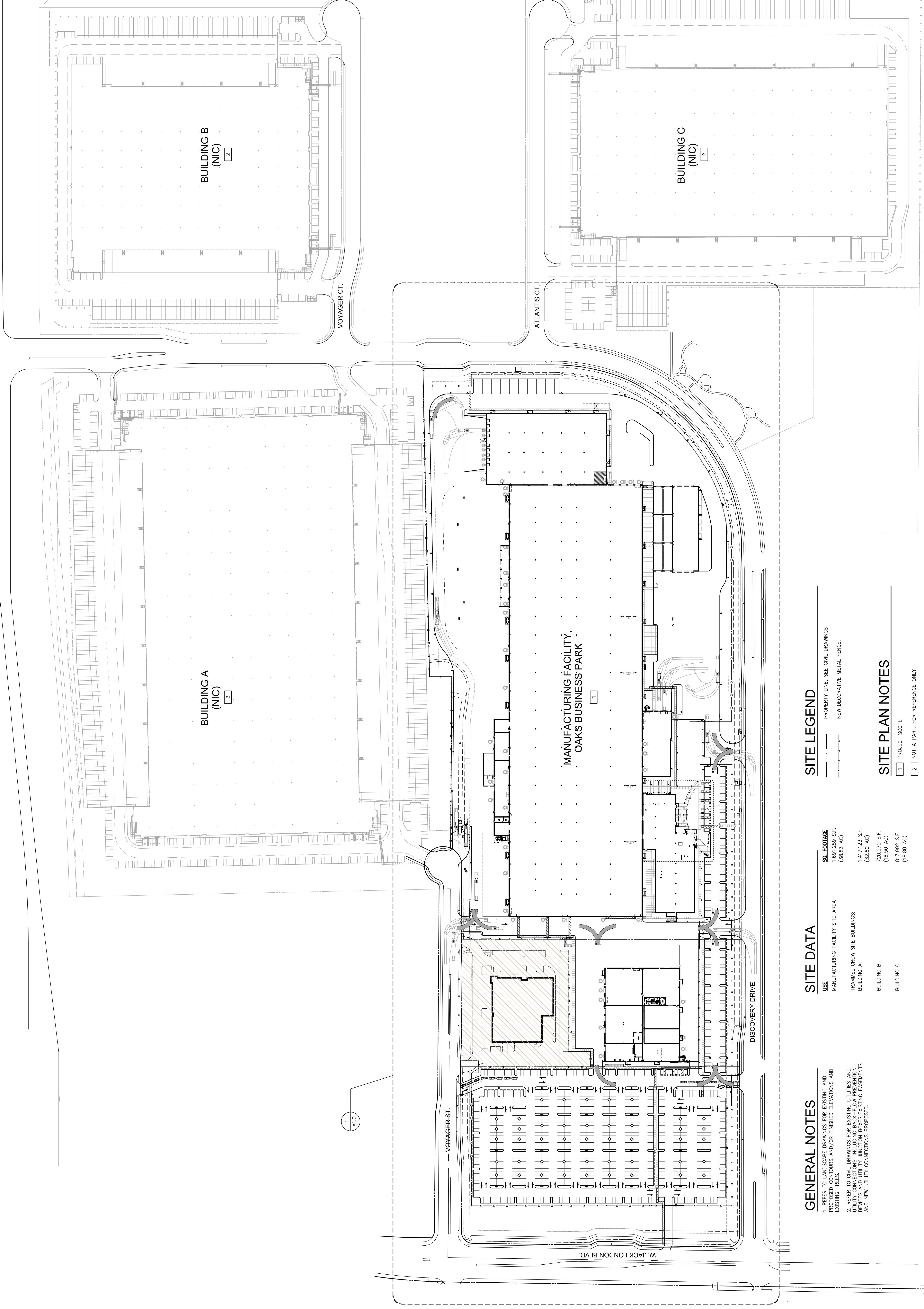
SYMBOLS	OWNER	SHEET INDEX
	<p><b>Trammell Crow Company</b></p> <p>TRAMMELL CROW</p> <p>555 12TH ST SUITE 900 OAKLAND, CA 94607 (510) 874-1929</p>	<p><b>ARCHITECTURAL</b></p> <p>A01 COVER SHEET</p> <p>A02 VICINITY MAP</p> <p>A02a TRAMMELL CROW SITE PLAN</p> <p>A03 CALGREEN</p> <p>A10 OVERALL SITE PLAN</p> <p>A11 ENLARGED SITE PLAN</p> <p>A12 OVERALL SITE LIGHTING PLAN AND PHOTOMETRIC PLAN</p> <p>A12a PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</p> <p>A12b PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</p> <p>A12c PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</p> <p>A12d PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</p> <p>A12e PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</p> <p>A12f PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</p> <p>A12g PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</p> <p>A12h PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</p> <p>A13 LIGHTING FIXTURE SCHEDULE AND OUT SHEETS</p> <p>A20 OVERALL FLOOR PLAN</p> <p>A21 PARTIAL FLOOR PLAN - BUILDING 1</p> <p>A22 PARTIAL FLOOR PLAN - BUILDING 2, 3 &amp; BUILDING 1 WAREHOUSE</p> <p>A23 SECOND FLOOR PLAN</p> <p>A30 OVERALL ROOF PLAN</p> <p>A31 PARTIAL ROOF PLAN - BUILDING 1</p> <p>A32 PARTIAL ROOF PLAN - BUILDING 2 &amp; BUILDING 1 WAREHOUSE</p> <p>A41 OVERALL STREET VIEW ELEVATIONS</p> <p>A42a PRELIMINARY BUILDING 1 - EXTERIOR ELEVATIONS</p> <p>A42b PRELIMINARY BUILDING 2 - EXTERIOR ELEVATIONS</p> <p>A43 ENLARGED BUILDING 1 - EXTERIOR ELEVATIONS</p> <p>A44 EXTERIOR ELEVATION - DETAILS</p> <p>A44a EXTERIOR ELEVATION DETAILS</p> <p>A44b EXTERIOR ELEVATION DETAILS</p> <p>A61 SITE SECTIONS</p> <p>A61a SITE SECTIONS</p> <p>A62 SCHEMATIC WALL SECTIONS</p> <p>A61 SCREEN WALL AND PERIMETER FENCE DETAIL</p> <p>A61 TYPICAL DETAILS</p>
<p><b>VICINITY MAP</b></p>	<p><b>WARE MALCOLM</b></p> <p>9405 CAMINO RAMON, SUITE 390 SAN RAMON, CA 94583</p> <p>PA: ANTHONY CATALANO, AIA, LEED AP PK: PAUL NARCROSS PHONE: 925 244-9620 FAX: 925 244-9621 E-MAIL: pncross@waremalcomb.com</p>	
<p><b>SCOPE OF WORK</b></p> <p>Development of approximately 1,681,259 SF of vacant industrial land</p> <p>Three manufacturing buildings (636,476 SF)</p> <p>Building 1: 559,476 SF</p> <p>Building 2: 50,000 SF</p> <p>Building 3: 27,000 SF</p> <p>2 - Above ground compress gas tanks.</p> <p>2 fuel storage tanks</p> <p>2 fuel stations</p> <p>Thresh storage</p> <p>Hazardous Waste generator</p> <p>Industrial paint systems</p> <p>Trash compactor</p> <p>Recycling Blis</p> <p>*FOR ADDITIONAL INFO REFER TO SITE PLAN AND LETTER OF INTENT</p>	<p><b>CIVIL</b></p> <p>CV COVER SHEET</p> <p>C1.0 OVERALL SITE PLAN</p> <p>C2.1 TOPOGRAPHIC SURVEY</p> <p>C2.2 TOPOGRAPHIC SURVEY</p> <p>C3.1 PRELIMINARY GRADING AND DRAINAGE PLAN</p> <p>C3.2 PRELIMINARY GRADING AND DRAINAGE PLAN</p> <p>C4.1 PRELIMINARY UTILITY PLAN</p> <p>C4.2 PRELIMINARY UTILITY PLAN</p> <p>C5.0 EROSION CONTROL PLAN</p> <p>C7.0 STORM WATER QUALITY CONTROL PLAN</p> <p>CROSS SECTIONS</p> <p><b>LANDSCAPE</b></p> <p>L1.0 LANDSCAPE PLAN</p> <p>L1.1 LANDSCAPE PLAN</p> <p>L1.2 LANDSCAPE PLAN</p> <p>LC1.1 PRELIMINARY LANDSCAPE PLAN</p> <p>LC1.2 PRELIMINARY LANDSCAPE PLAN</p> <p>LC1.3 PRELIMINARY LANDSCAPE PLAN LEGENDS</p> <p>LC1.4 PRELIMINARY LANDSCAPE PLAN SECTIONS</p>	



VICINITY MAP

Manufacturing Facility, Oaks Business Park





BUILDING A  
(NIC) [2]

BUILDING B  
(NIC) [2]

BUILDING C  
(NIC) [2]

MANUFACTURING FACILITY,  
OAKS BUSINESS PARK [1]

**GENERAL NOTES**

1. REFER TO LANDSCAPE DRAWINGS FOR EXISTING AND PROPOSED PLANTING AND/OR FINISHED ELEVATIONS AND EXISTING TREES.
2. REFER TO CIVIL DRAWINGS FOR EXISTING UTILITIES AND UTILITY CONNECTIONS, INCLUDING BACK-FLOW PREVENTION DEVICES, AND UTILITY JUNCTION BOXES, EXISTING EASEMENTS AND NEW UTILITY CONNECTIONS PROPOSED.

**SITE DATA**

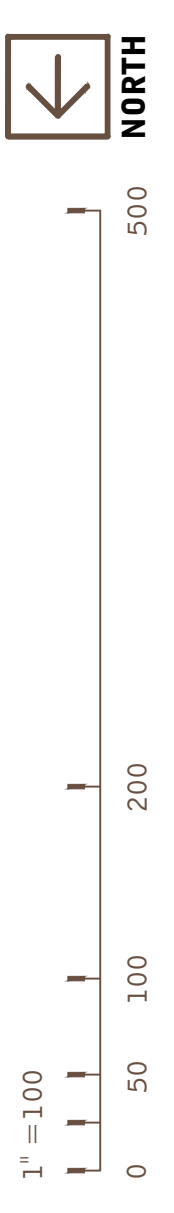
USE	SQ. FOOTAGE
MANUFACTURING FACILITY SITE AREA	1,891,259 S.F. (36.83 AC)
TRAMMEL CROW SITE BUILDINGS:	
BUILDING A:	1,471,123 S.F. (32.50 AC)
BUILDING B:	726,575 S.F. (16.50 AC)
BUILDING C:	817,992 S.F. (18.80 AC)

**SITE LEGEND**

- PROPERTY LINE, SEE CIVIL DRAWINGS
- - - NEW DECORATIVE METAL FENCE

**SITE PLAN NOTES**

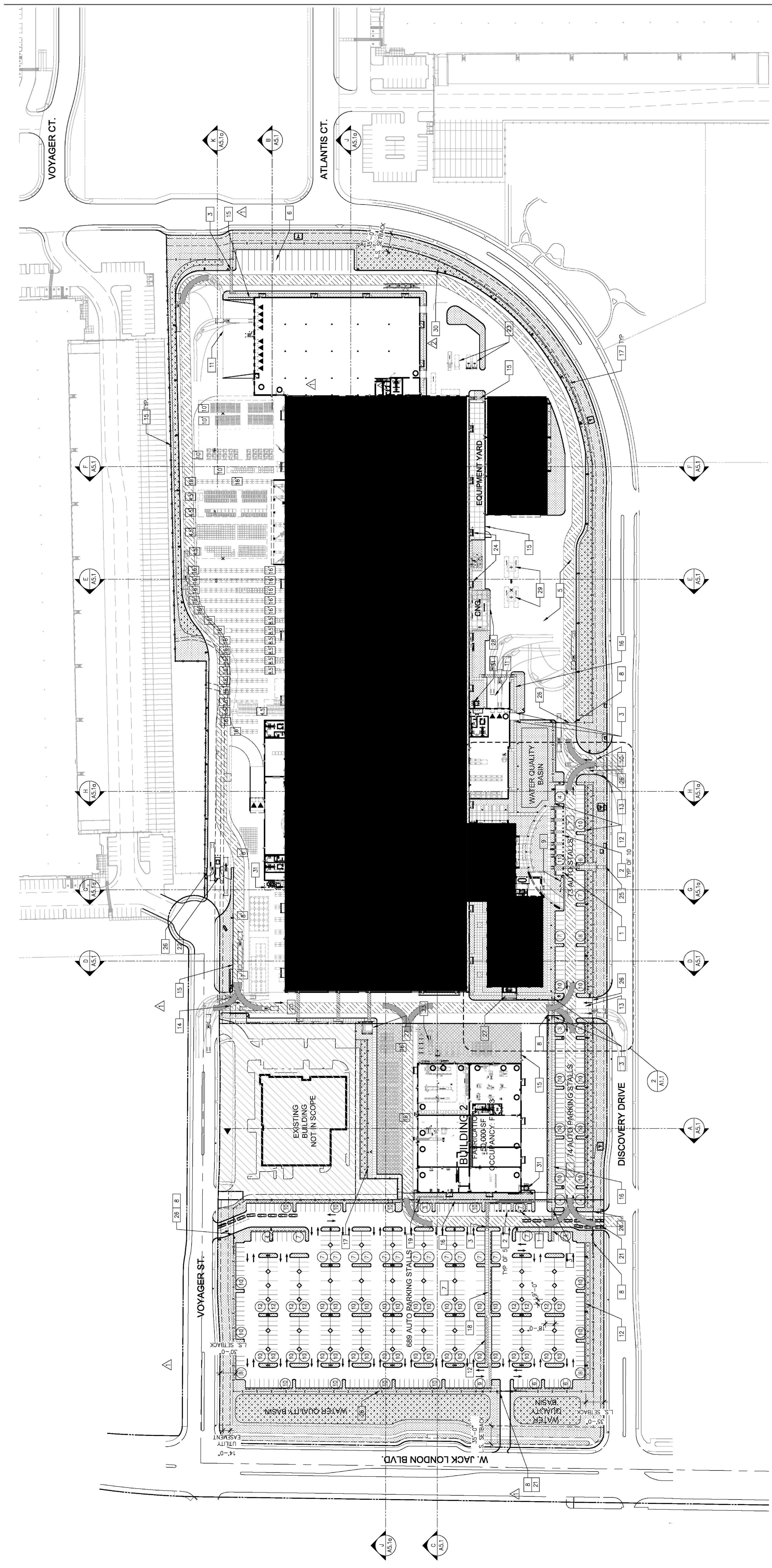
- [1] PROJECT SCOPE
- [2] NOT A PART, FOR REFERENCE ONLY



TRAMMEL CROW SITE PLAN

Manufacturing Facility, Oaks Business Park





**GENERAL NOTES**

- 1. REFER TO LANDSCAPE DRAWINGS FOR EXISTING AND PROPOSED TREES.
- 2. REFER TO CIVIL DRAWINGS FOR FINISHED ELEVATIONS AND EXISTING UTILITIES.
- 3. REFER TO CIVIL DRAWINGS FOR EXISTING UTILITIES AND UTILITY CONNECTIONS, INCLUDING BACK-FLOW PREVENTION DEVICES AND UTILITY JUNCTION BOXES/EXISTING EASEMENTS AND NEW UTILITY CONNECTIONS PROPOSED.

**PARKING REQUIRED**

OFFICE	= 65,916 SF	264
WAREHOUSE	= 371,710 SF	572
TOTAL	(637,626 SF)	836

**SITE DATA**

<b>USE</b>	<b>SQ. FOOTAGE</b>
△ SITE AREA	1,681,259 S.F. (38.83 AC)
△ BUILDING 1 AREA	528,270 S.F.
△ FIRST FLOOR	31,208 S.F.
△ SECOND FLOOR	27,000 S.F.
△ BUILDING 2 AREA	638,478 S.F.
△ TOTAL	357,738 S.F.
△ COVERAGE	35.73 %
△ LANDSCAPE AREA	313,307 S.F.
△ COVERAGE	17.60 %
△ HARDSCAPE AREA	673,857 S.F.
△ COVERAGE	37.65 %
△ OUTDOOR STORAGE AREA	157,108 S.F.
△ COVERAGE	8.82 %

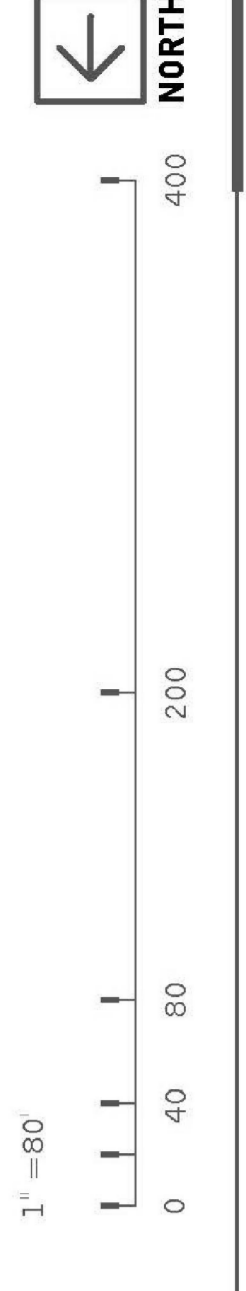
<b>PARKING</b>	<b>STALLS</b>
△ ACCESSIBLE STALLS	15
△ STANDARD	2
△ VAN	2
△ STANDARD STALLS (9'-6" X 19'-0")	830
<b>TOTAL PARKING STALLS</b>	<b>836</b>
△ BICYCLE PARKING	35 STALLS

**SITE LEGEND**

- PROPERTY LINE, SEE CIVIL DRAWINGS
- PARKING LIGHTING SINGLE HEAD - 18'-0" HIGH.
- PARKING LIGHTING DOUBLE HEAD - 18'-0" HIGH.
- WALL MOUNTED LIGHTING - 30'-0" A.F.F.
- CONCRETE TRANSFORMER PAD, SEE ELECTRICAL DRAWINGS
- STANDARD PARKING STALL (9'-6" X 19'-0")
- STORAGE TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- DOCK HIGH TRUCK DOOR
- FIRE HYDRANT
- NEW DECORATIVE METAL FENCE.
- 5 BIKE PARKING STALLS
- NEW LANDSCAPE
- N.L.C
- WATER QUALITY BASIN
- OUTDOOR STORAGE AREA

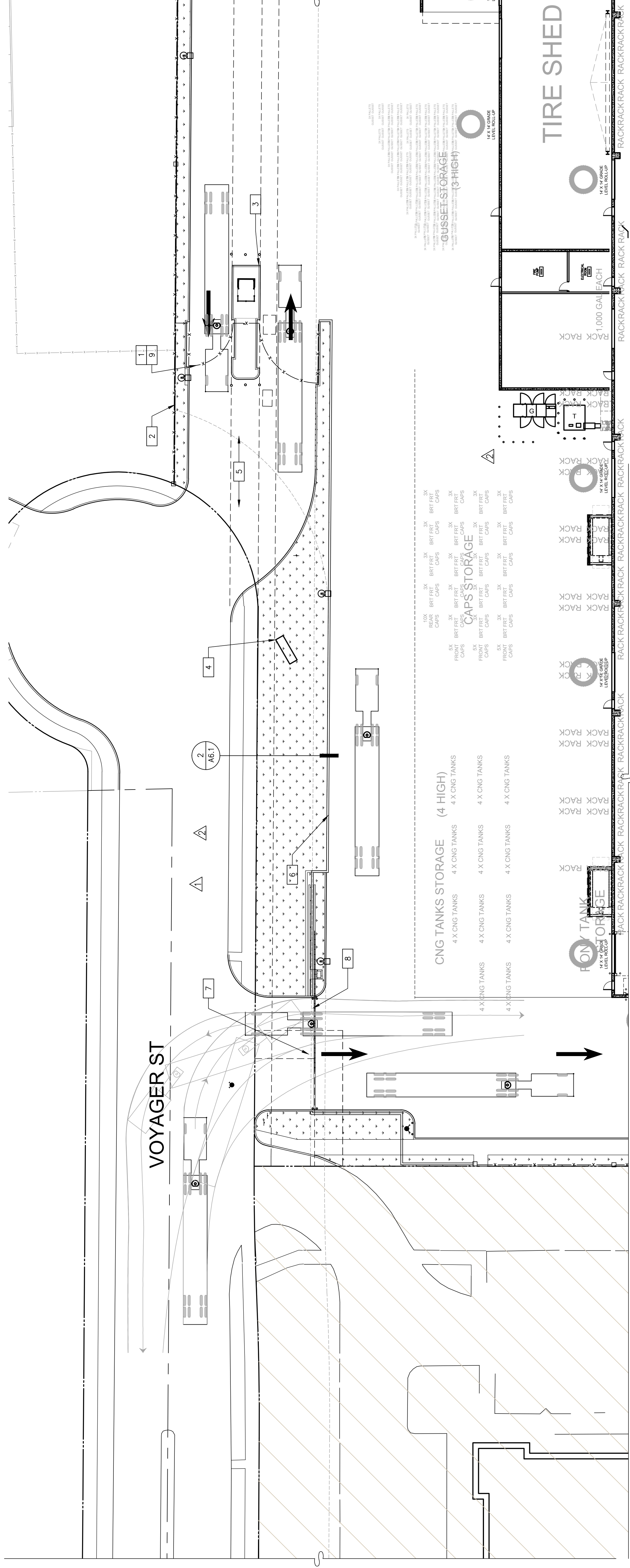
**SITE PLAN NOTES**

- 1. VAN ACCESSIBLE STALL WITH WHEEL STOP AND ACCESS AISLE STRIPING.
- 2. ACCESSIBLE STALL WITH WHEEL STOP AND ACCESS AISLE STRIPING.
- 3. TRUNCATED DOMES, TYPICAL OF SIMILARLY HATCHED AREAS.
- 4. NOT USED.
- 5. TRUCK COURT.
- 6. BUS PARKING STALLS.
- 7. PARKING LOT STRIPING TO CITY STANDARDS.
- 8. SLIDING GATE, SEE DETAIL 3/A&1.
- 9. FLAG POLE LOCATION.
- 10. EMERGENCY VEHICLE TRUCK ACCESS.
- 11. CONCRETE TRUCK DOCK APPROX.
- 12. 2'-0" PARKING OVERHANG.
- 13. MAIN DRIVEWAY ENTRANCES.
- 14. CONTROLLED ACCESS GATE.
- 15. SCREEN WALL, SEE DETAIL 2/A&1.
- 16. CONCRETE SIDEWALK.
- 17. CONCRETE SIDEWALK.
- 18. TREE-LINED ELEVATED PEDESTRIAN PATH.
- 19. 25 EMPLOYEE BICYCLE PARKING SPACES (40 TOTAL STALLS).
- 20. SHARED DRIVEWAY.
- 21. CONTROLLED ACCESS EMPLOYEE ENTRANCE.
- 22. SECURITY GUARD BOOTH.
- 23. TRASH COMPACTOR AND RECYCLING BINS.
- 24. POP OUT FAÇADE FEATURE.
- 25. ENHANCED PEDESTRIAN ENTRANCE.
- 26. ALL GATES SHALL BE POWER OPERATED.
- 27. COVERED, SECURED BICYCLE STORAGE (40 TOTAL STALLS).
- 28. CNG COMPRESSOR & FUELING STATION, BY OTHERS UNDER SEPARATE PERMIT.
- 29. FUELING STATION CANOPY, BY OTHERS UNDER SEPARATE PERMIT.
- 30. FIRE SERVICE BACKFLOW DEVICE.
- 31. ELECTRICAL TRANSFORMER.

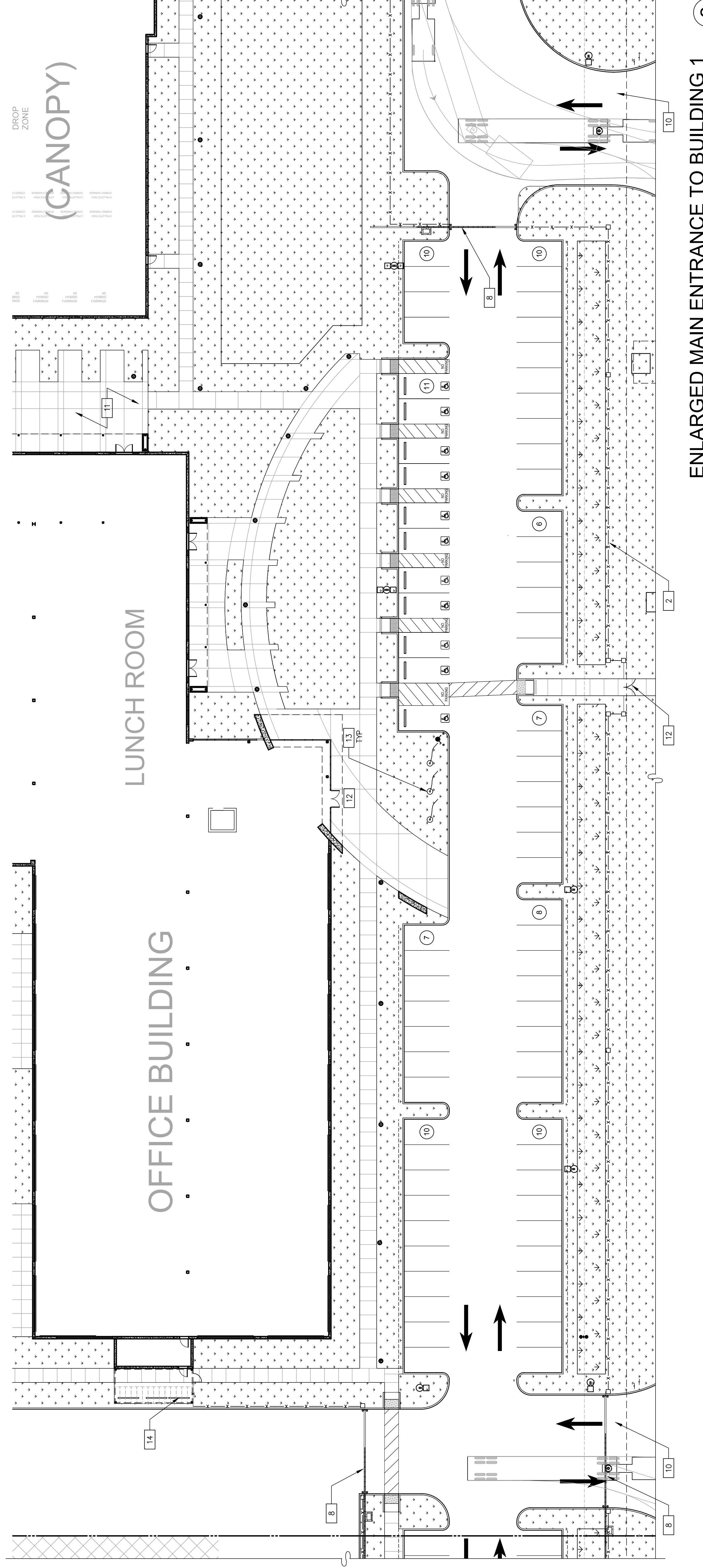


**OVERALL SITE PLAN**

Manufacturing Facility, Oaks Business Park



ENLARGED MAIN TRUCK ENTRY  
SCALE: 1" = 20'



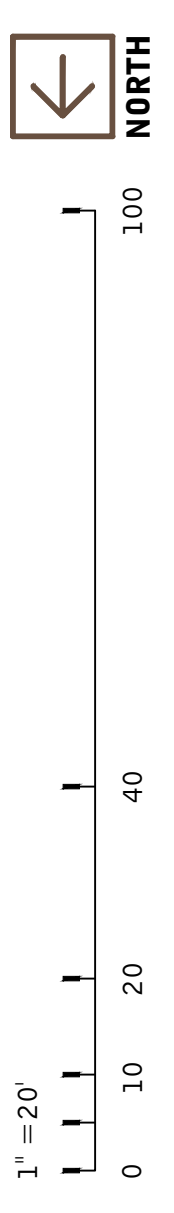
ENLARGED MAIN ENTRANCE TO BUILDING 1  
SCALE: 1" = 20'

**SITE PLAN NOTES**

- 1 CONTROLLED ACCESS GATE
- 2 WROUGHT IRON FENCE WITH CONCRETE COLUMNS. SEE DETAIL 1/A6.1
- 3 SECURITY GUARD BOOTH
- 4 ENHANCED LANDSCAPE AREA WITH MONUMENT SIGN
- 5 MAIN TRUCK ENTRANCE/EXIT
- 6 8' HIGH TILT-UP SCREEN WALL
- 7 CONTROLLED ENTRANCE
- 8 POWER-OPERATED ROLLING GATE
- 9 WROUGHT IRON GATE W/ CONCRETE COLUMNS.
- 10 MAIN DRIVEWAY ENTRANCES
- 11 EXTERIOR EMPLOYEE DINING AREA
- 12 ENHANCED PEDESTRIAN ENTRANCE
- 13 FLAG POLE
- 14 BICYCLE PARKING. SEE DETAIL 16/A6.1
- 15 NOT USED

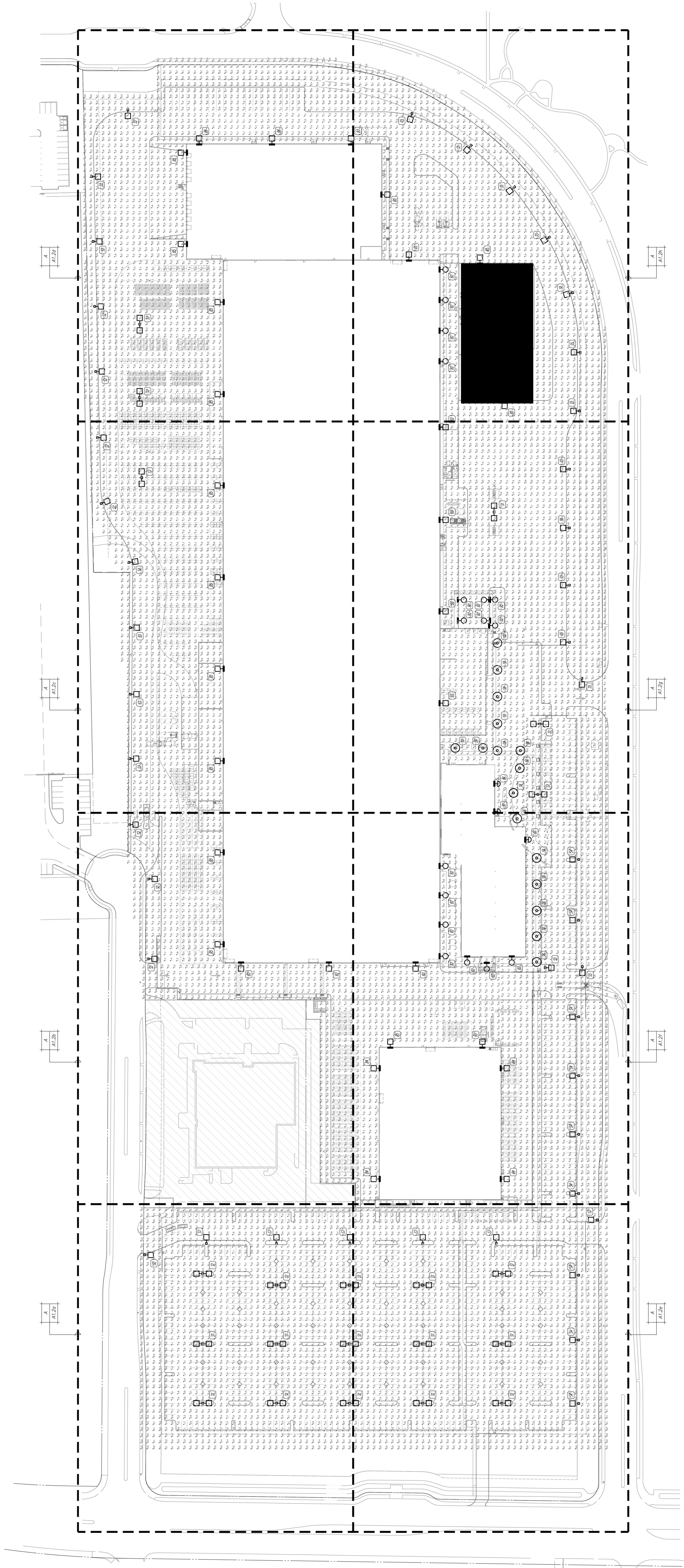
**SITE LEGEND**

- PROPERTY LINE, SEE CIVIL DRAWINGS
- PARKING LIGHTING SINGLE HEAD - 18'-0" HIGH.
- PARKING LIGHTING DOUBLE HEAD - 18'-0" HIGH.
- WALL MOUNTED LIGHTING - 30'-0" A.F.F.
- CONCRETE TRANSFORMER PAD, SEE ELECTRICAL DRAWINGS
- STANDARD PARKING STALL (9'-6" x 19'-0")
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- NEW DECORATIVE METAL FENCE.
- 5 BIKE PARKING STALLS
- NEW LANDSCAPE
- N.I.C.
- WATER QUALITY BASIN
- OUTDOOR STORAGE AREA

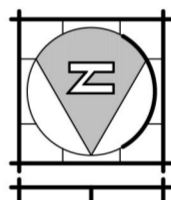


ENLARGED SITE PLAN

Manufacturing Facility, Oaks Business Park



A	OVERALL SITE LIGHTING PLAN
A1.2	SCALE: 1" = 70'-0"

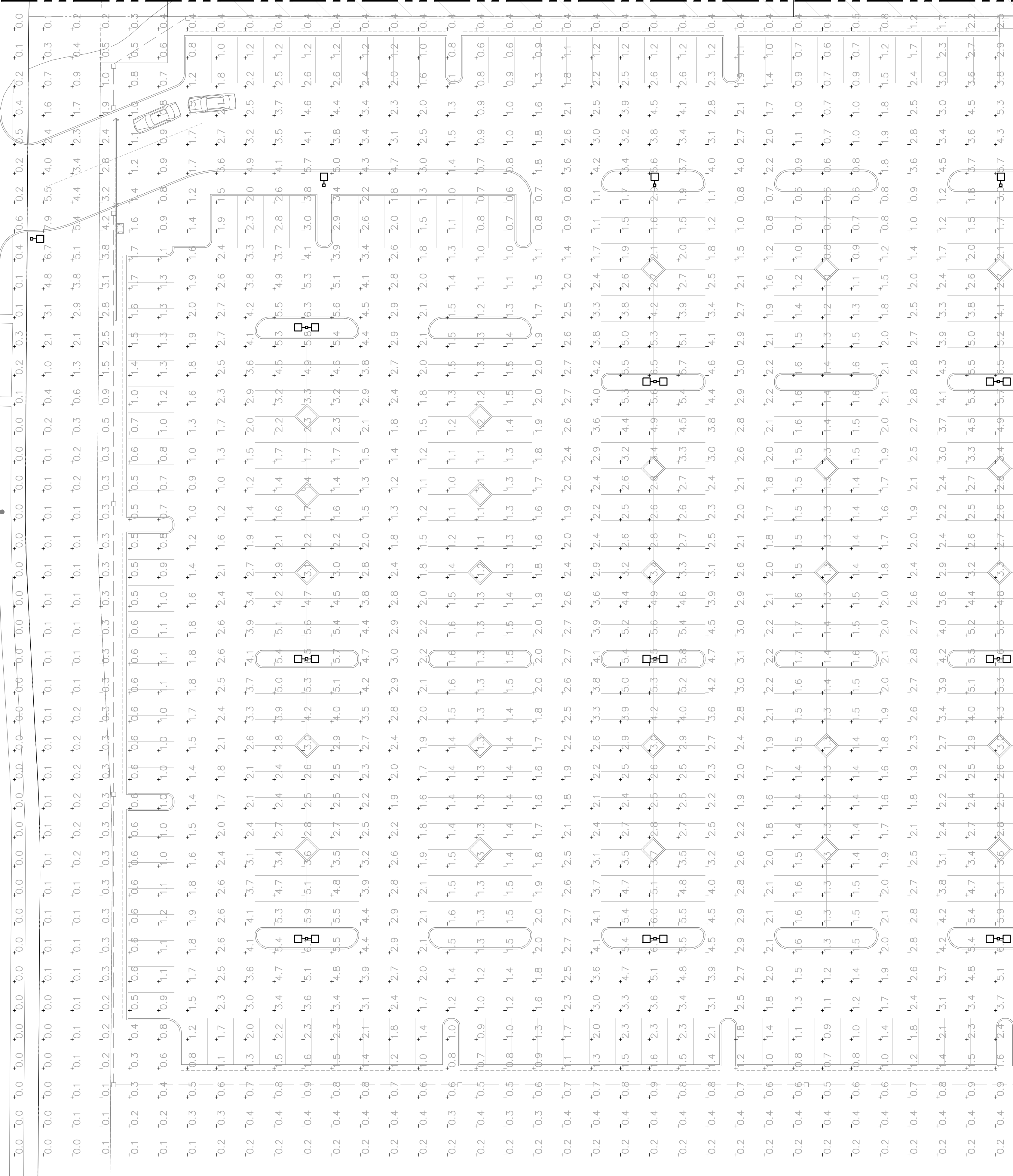


OVERALL SITE LIGHTING PLAN

Manufacturing Facility, Oaks Business Park

SEE DRAWING A1.2b  
FOR CONTINUATION

SEE DRAWING A1.2c  
FOR CONTINUATION



A PARTIAL SITE LIGHTING PHOTOMETRIC PLAN  
 A1.20  
 SCALE: 1" = 20'-0"

PARTIAL SITE LIGHTING PHOTOMETRIC PLAN

Manufacturing Facility, Oaks Business Park

WARE MALCOMB

SNR14-0029-00  
10.31.2014

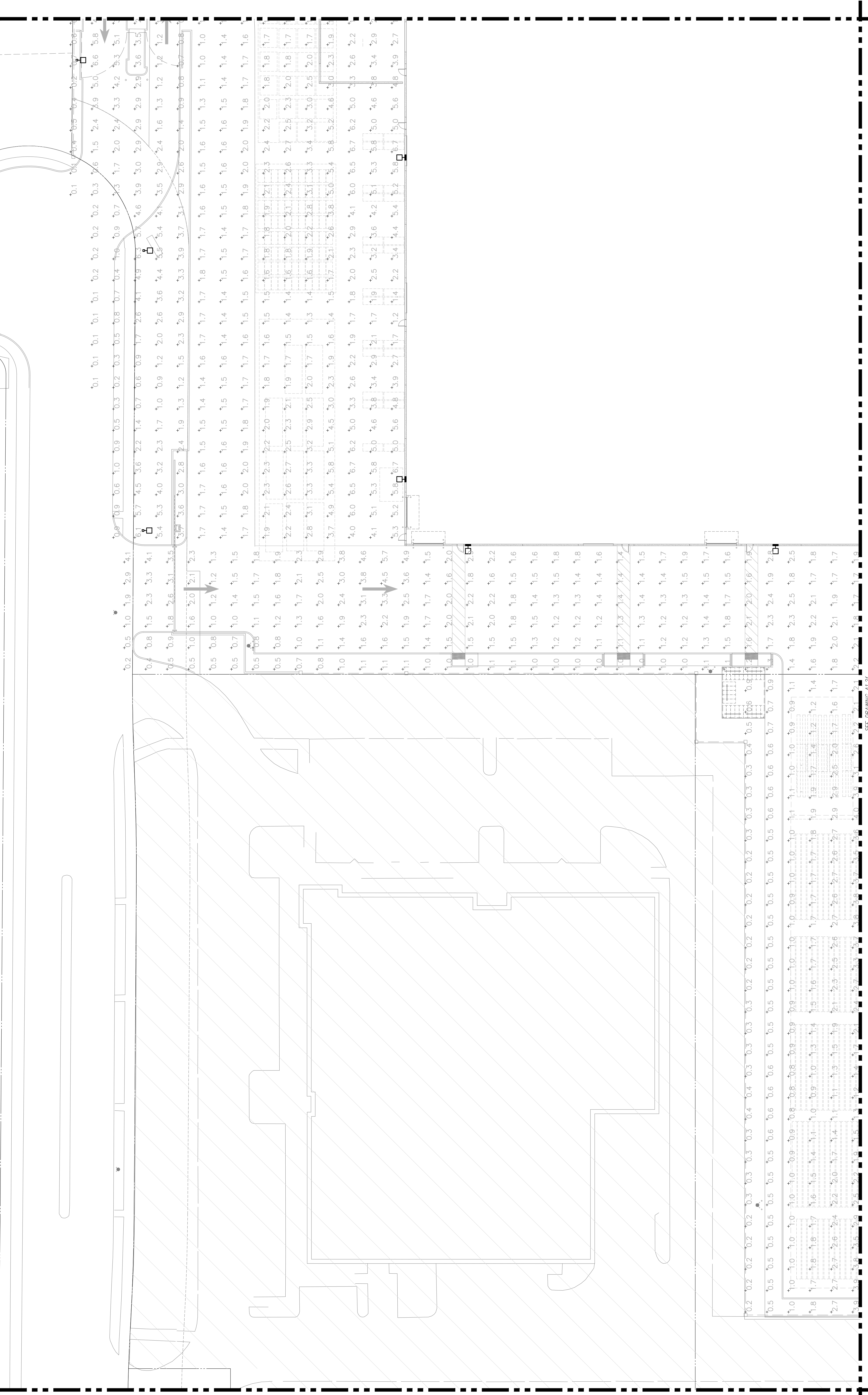
SHEET

A1.2a

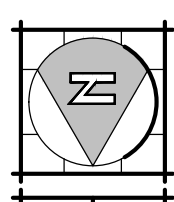


SEE DRAWING A1.2b  
FOR CONTINUATION

SEE DRAWING A1.2b  
FOR CONTINUATION



A	<b>PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</b>
A1.2b	SCALE: 1" = 20'-0"



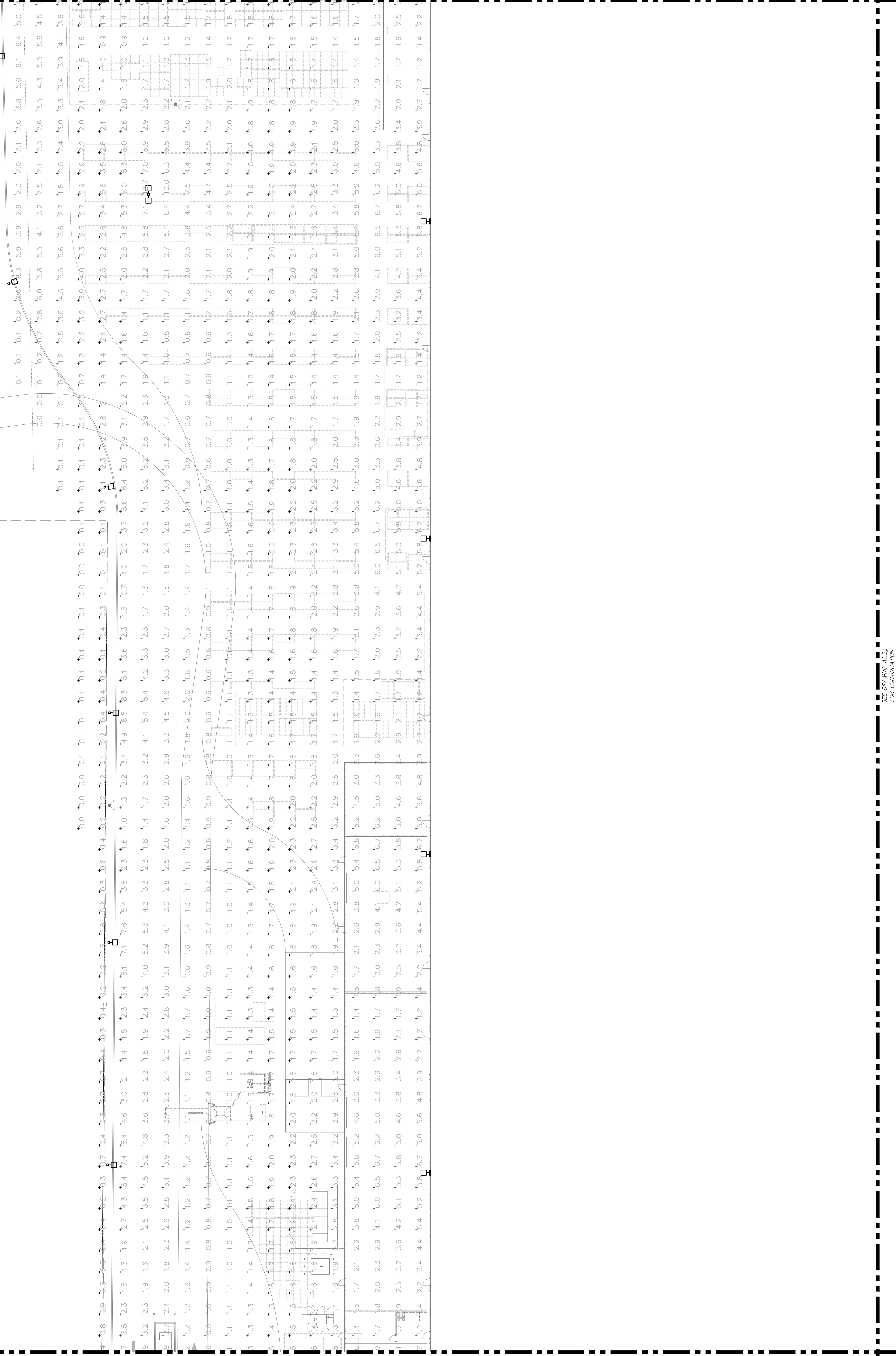
**PARTIAL SITE LIGHTING PHOTOMETRIC PLAN**

Manufacturing Facility, Oaks Business Park

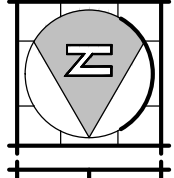
**WARE MALCOMB**

SEE DRAWING A1.2B  
FOR CONTINUATION

SEE DRAWING A1.2B  
FOR CONTINUATION



SEE DRAWING A1.2B  
FOR CONTINUATION



**PARTIAL SITE LIGHTING PHOTOMETRIC PLAN**  
SCALE: 1" = 20'-0"

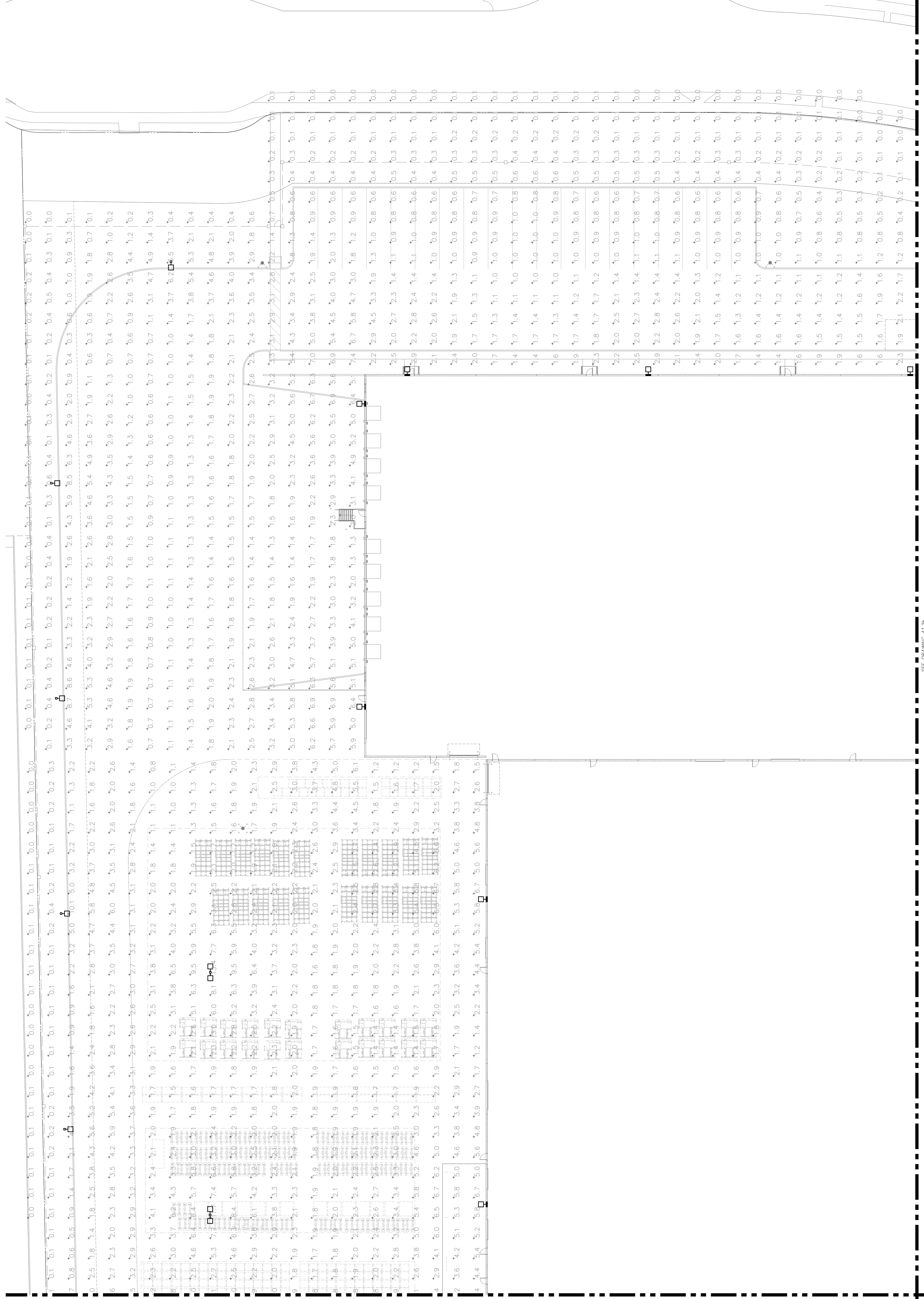
A  
A1.2C

**PARTIAL SITE LIGHTING PHOTOMETRIC PLAN**

Manufacturing Facility, Oaks Business Park

**WARE MALCOMB**

SEE DRAWING A1.2c  
FOR CONTINUATION



SEE DRAWING A1.2b  
FOR CONTINUATION

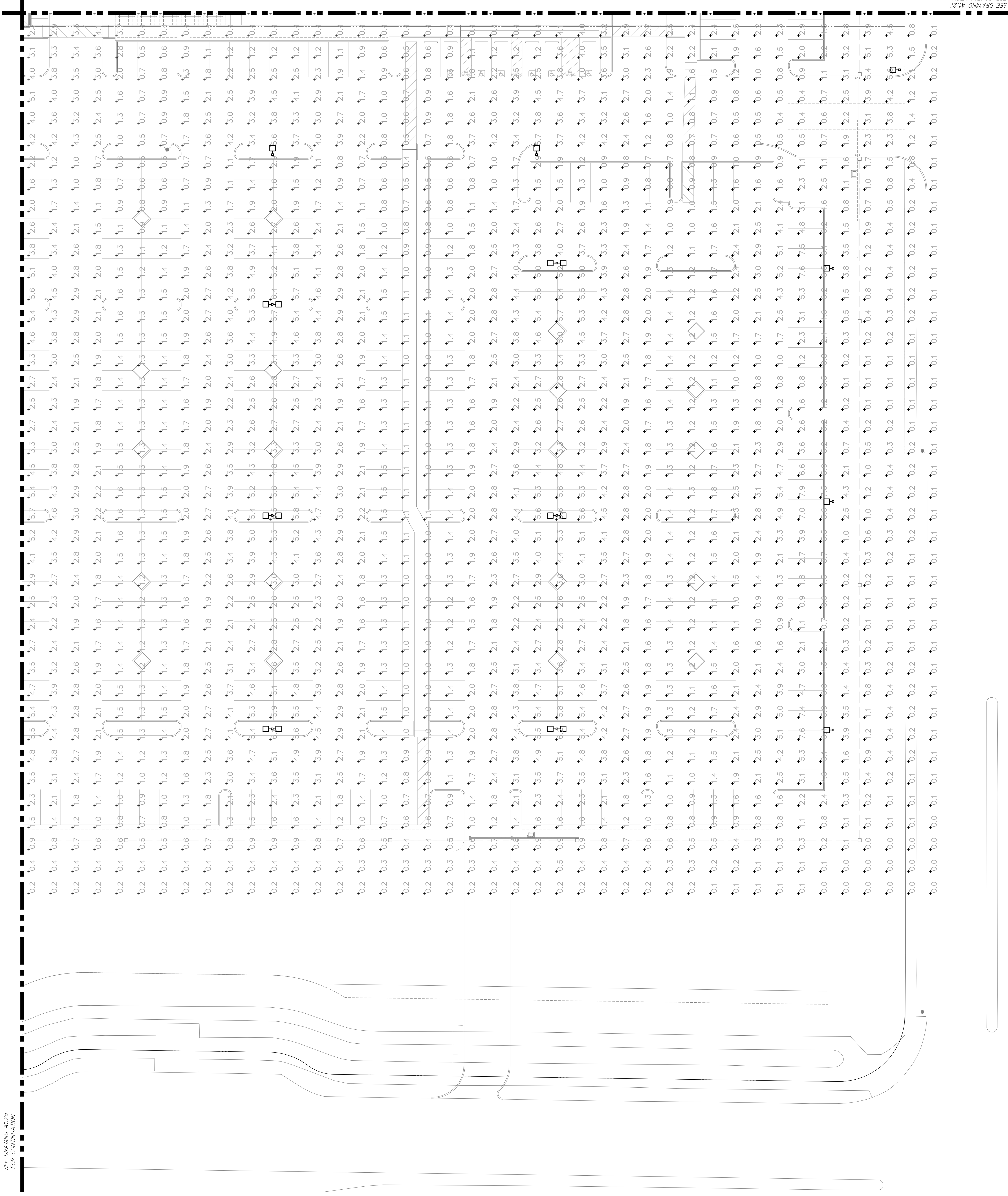
A	<b>PARTIAL SITE LIGHTING PHOTOMETRIC PLAN</b>
A1.2c	

SCALE: 1" = 20'-0"

**PARTIAL SITE LIGHTING PHOTOMETRIC PLAN**

Manufacturing Facility, Oaks Business Park

SEE DRAWING A1.2e  
FOR CONTINUATION



SEE DRAWING A1.2f  
FOR CONTINUATION

A PARTIAL SITE LIGHTING PHOTOMETRIC PLAN  
A1.2e  
SCALE: 1" = 20'-0"

PARTIAL SITE LIGHTING PHOTOMETRIC PLAN

Manufacturing Facility, Oaks Business Park

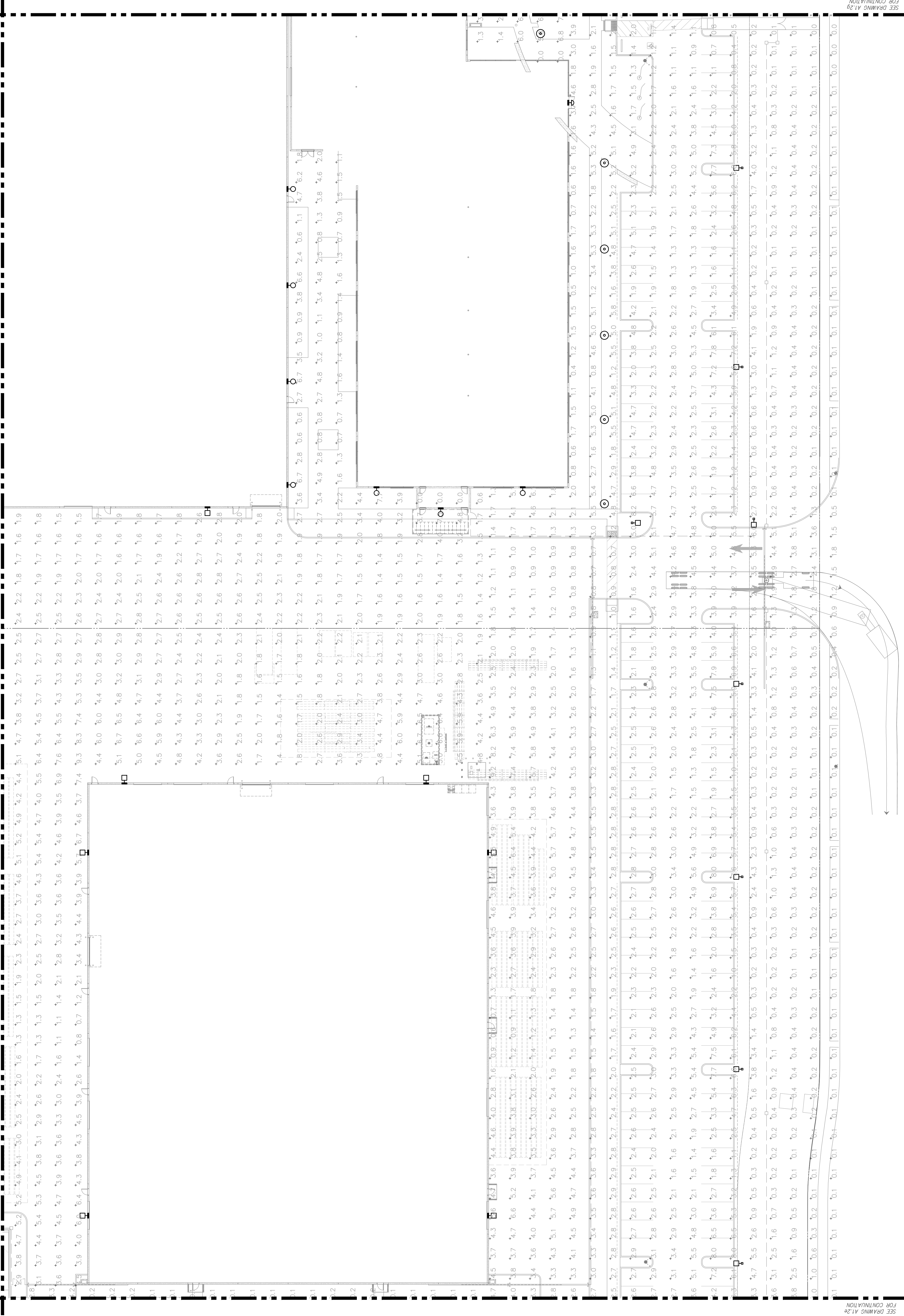
WARE MALCOMB

SNR4-0029-00  
10.31.2014

SHEET

A1.2e

SEE DRAWING A1.2b  
FOR CONTINUATION



SEE DRAWING A1.2b  
FOR CONTINUATION

SEE DRAWING A1.2b  
FOR CONTINUATION

A  
PARTIAL SITE LIGHTING PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"

PARTIAL SITE LIGHTING PHOTOMETRIC PLAN

Manufacturing Facility, Oaks Business Park

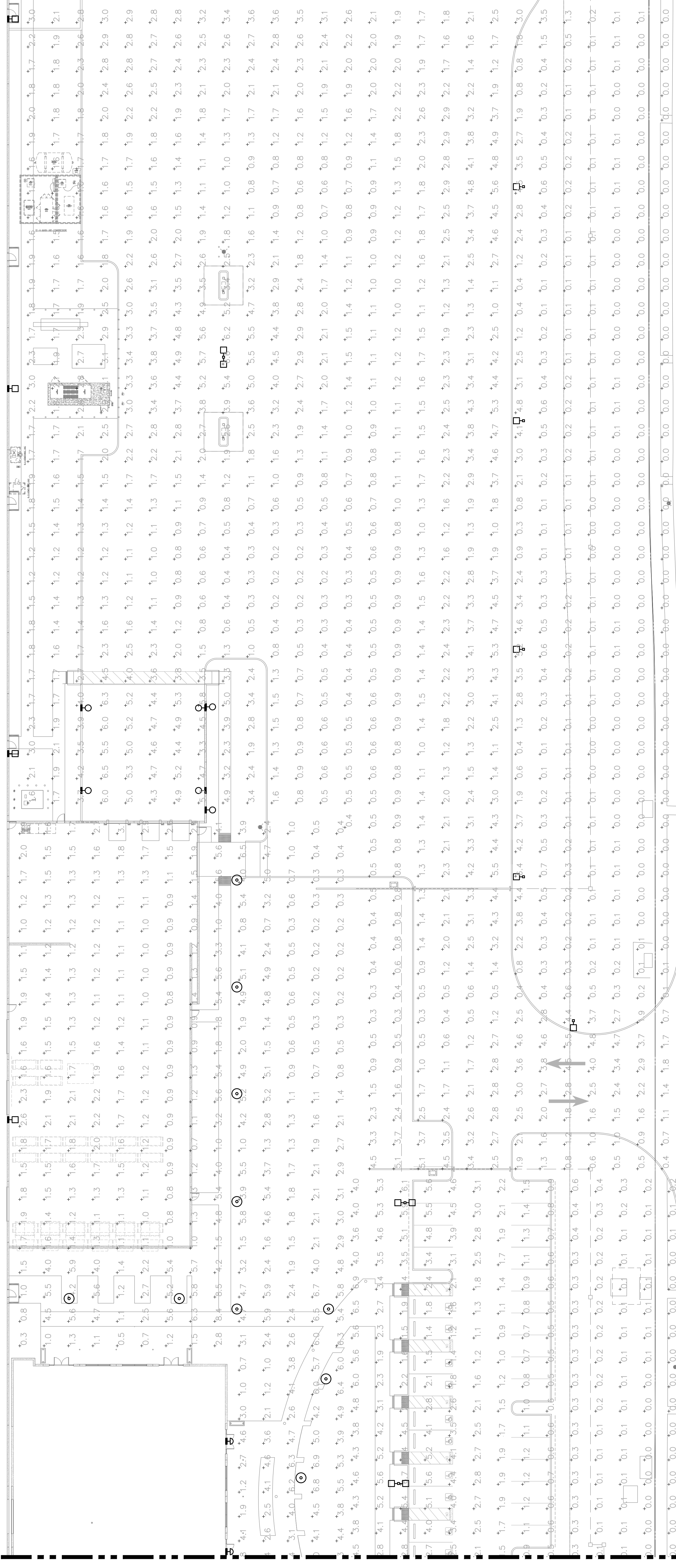
WARE MALCOMB

SNR14-0029-00  
10.31.2014

SHEET

A1.2f

SEE DRAWING A1.29 FOR CONTINUATION



SEE DRAWING A1.29 FOR CONTINUATION

SEE DRAWING A1.27 FOR CONTINUATION

A  
PARTIAL SITE LIGHTING PHOTOMETRIC PLAN  
A1.29  
SCALE: 1" = 20'-0"

PARTIAL SITE LIGHTING PHOTOMETRIC PLAN

Manufacturing Facility, Oaks Business Park

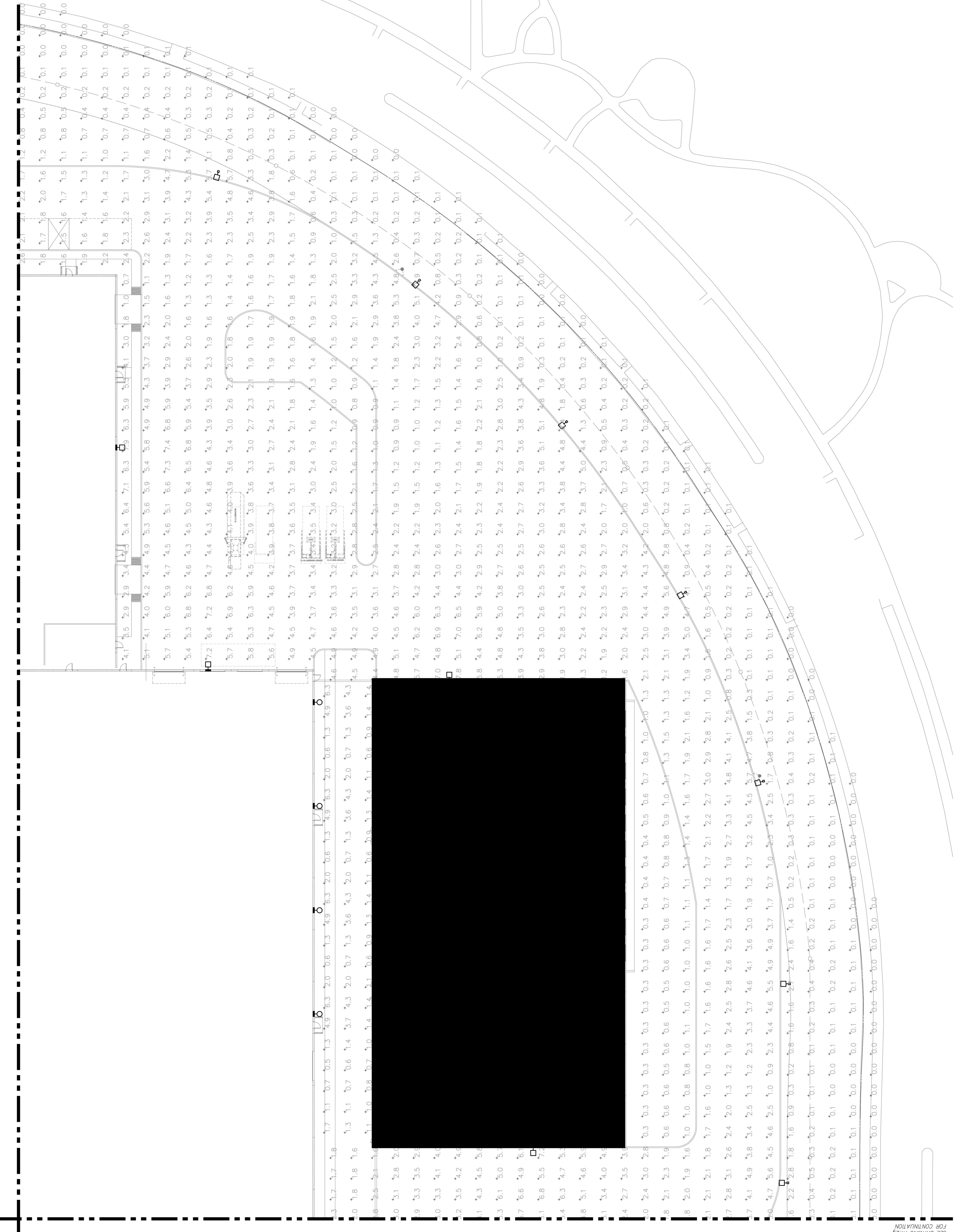
WARE MALCOMB

SNR14-0029-00  
10.31.2014

SHEET

A1.29

SEE DRAWING A1.29 FOR CONTINUATION



SEE DRAWING A1.29 FOR CONTINUATION

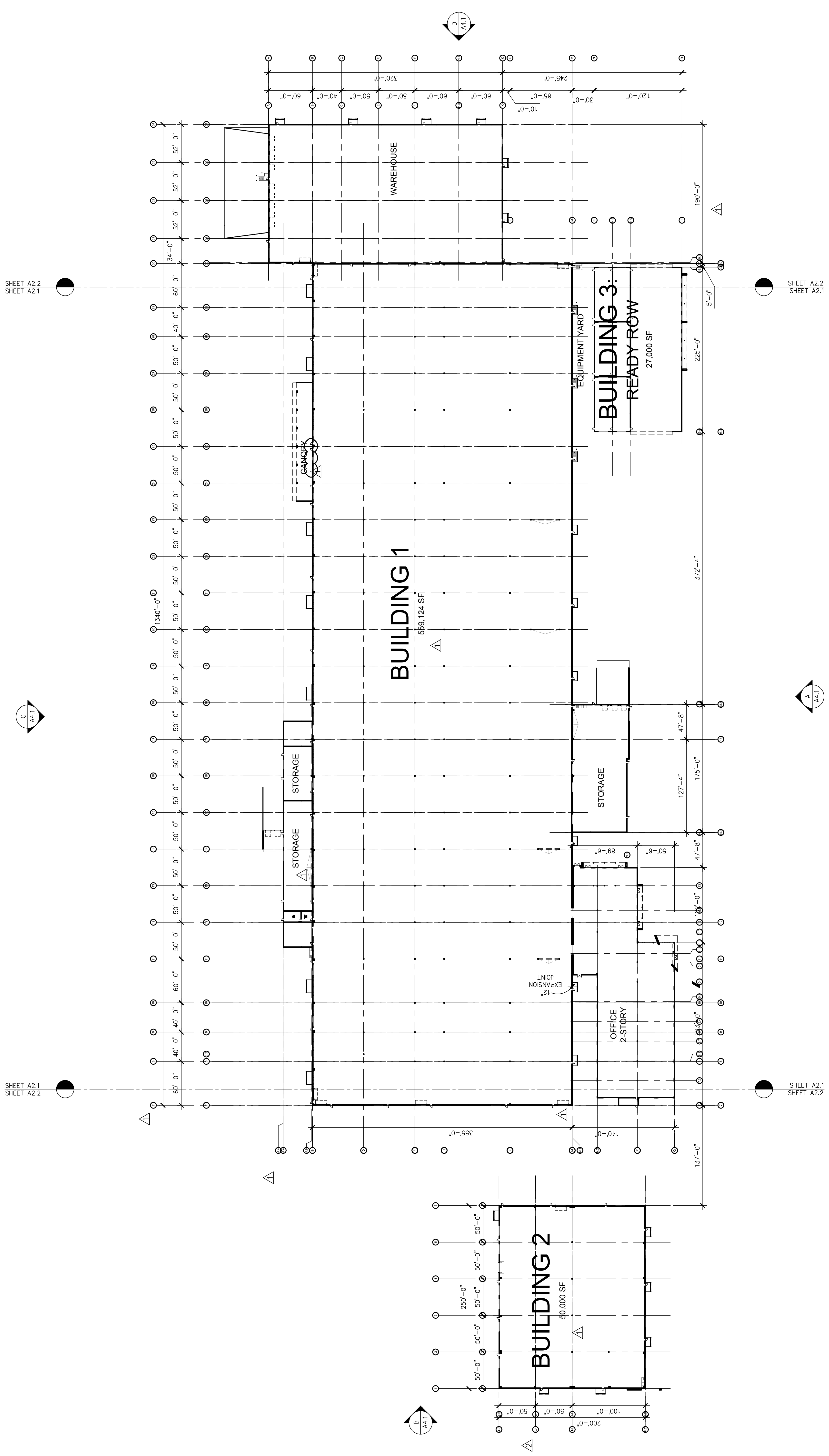
A	PARTIAL SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"	

PARTIAL SITE LIGHTING PHOTOMETRIC PLAN

Manufacturing Facility, Oaks Business Park







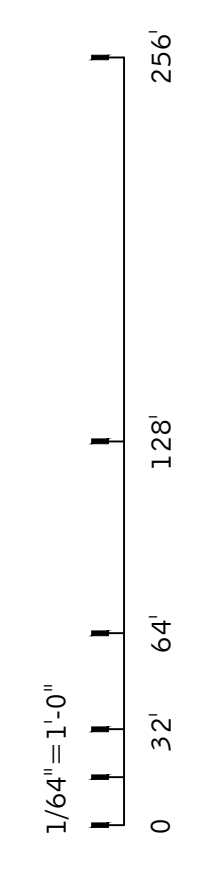
SHEET A2.2  
SHEET A2.1

C  
A4.1

SHEET A2.1  
SHEET A2.2

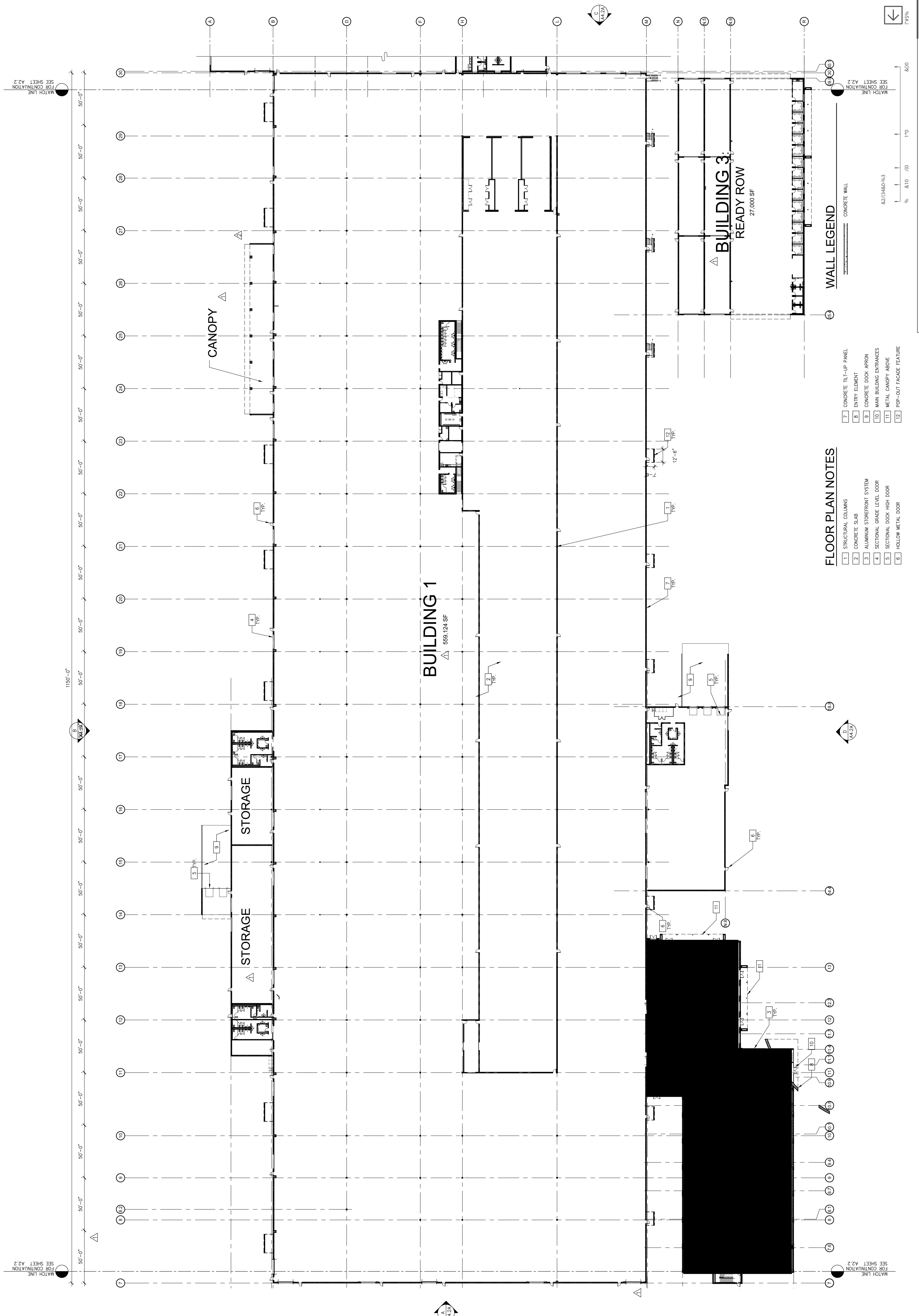
SHEET A2.2  
SHEET A2.1

SHEET A2.1  
SHEET A2.2



OVERALL FLOOR PLAN

Manufacturing Facility, Oaks Business Park



**FLOOR PLAN NOTES**

- 1 STRUCTURAL COLUMNS
- 2 CONCRETE SLAB
- 3 ALUMINUM STOREFRONT SYSTEM
- 4 SECTIONAL GRADE LEVEL DOOR
- 5 SECTIONAL DOCK HIGH DOOR
- 6 HOLLOW METAL DOOR
- 7 CONCRETE TILT-UP PANEL
- 8 ENTRY ELEMENT
- 9 CONCRETE DOCK APRON
- 10 MAIN BUILDING ENTRANCES
- 11 METAL CANOPY ABOVE
- 12 POP-OUT FACADE FEATURE

**WALL LEGEND**

CONCRETE WALL

8/2(13460-#3)  
1"=5'

56,\$7689;8;;9586+9<=78>7+79&

\*4,-+0-12,345+72620784"+9;4;:2,:4=+19

**WARE MALCOMB**

1"=5'  
&10

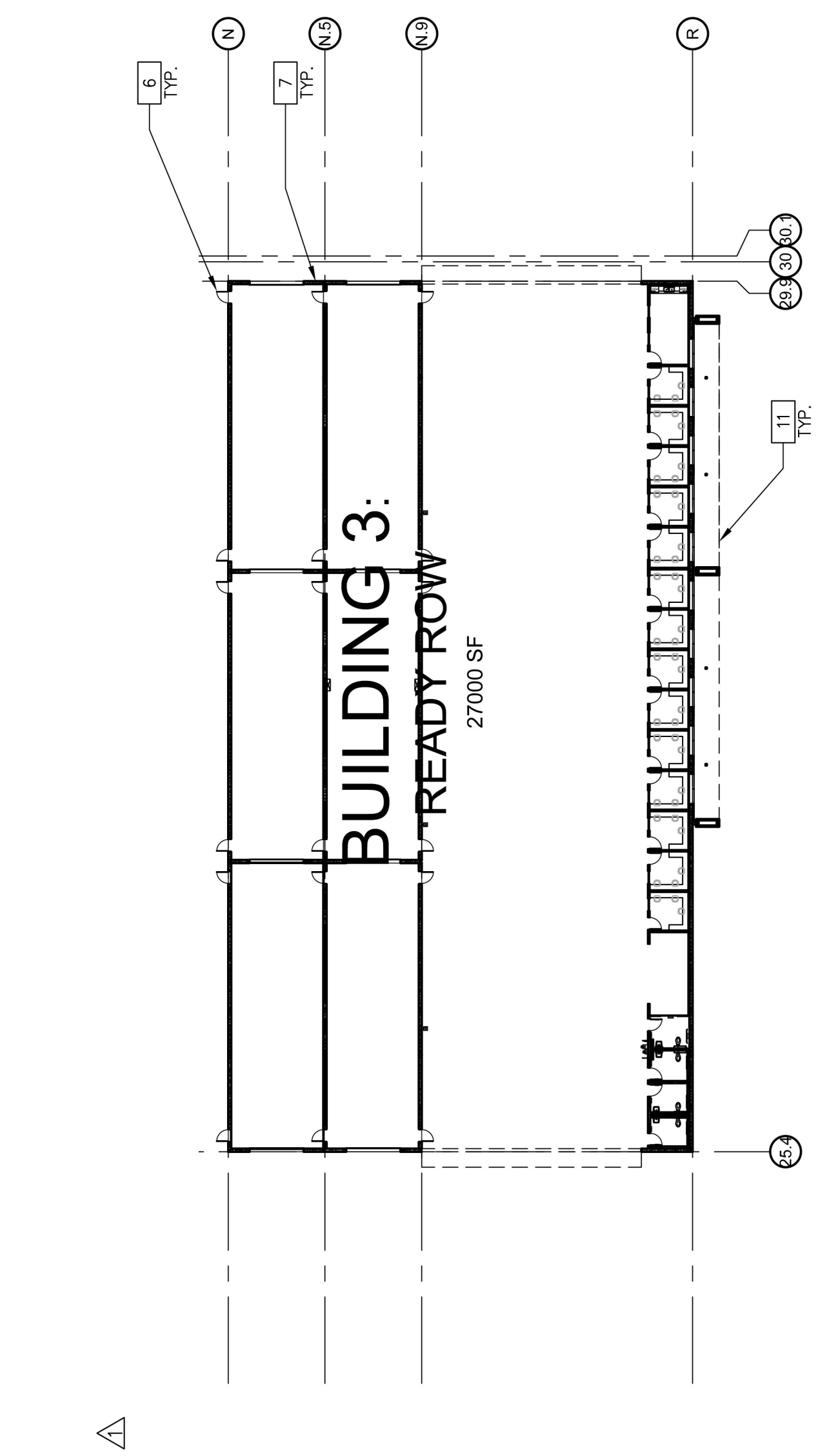
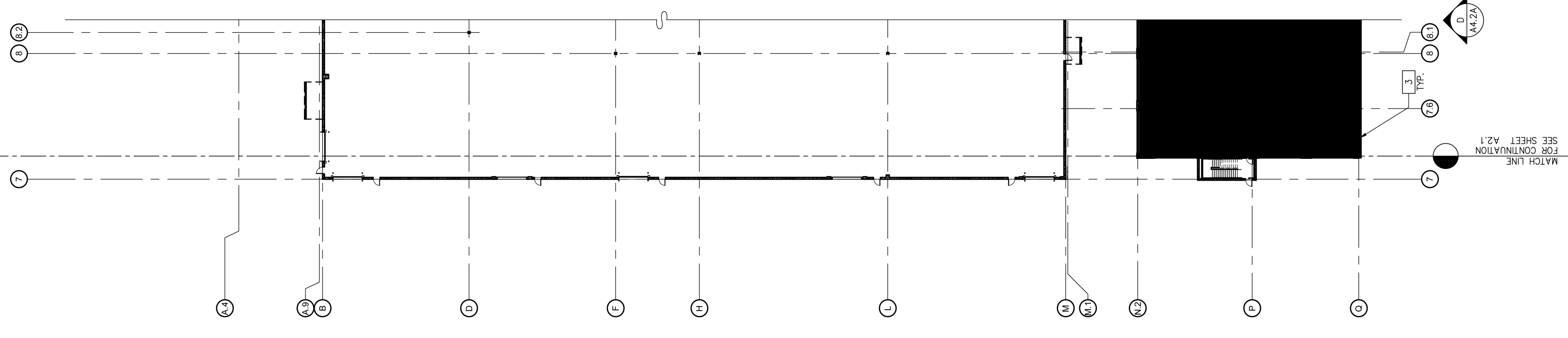
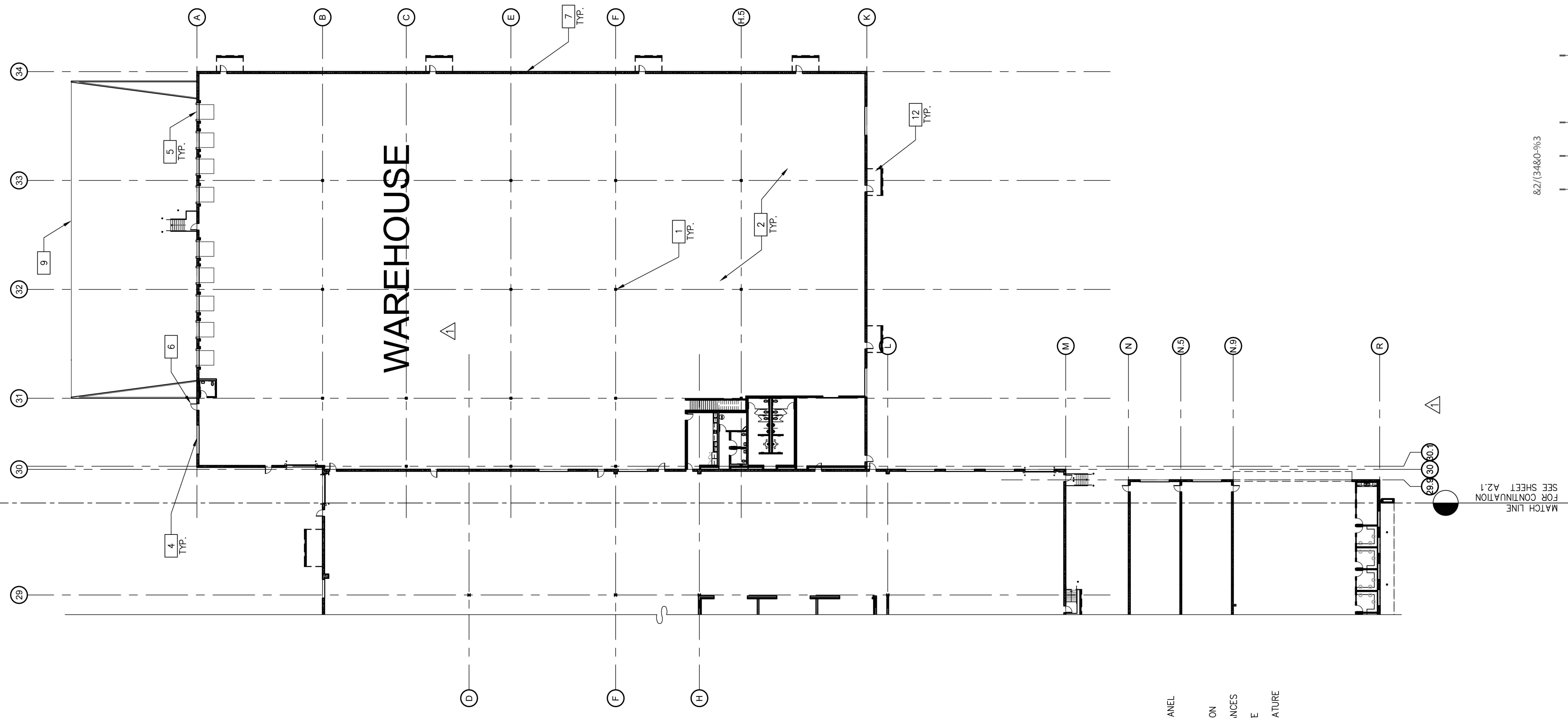
MATCH LINE  
FOR CONTINUATION  
SEE SHEET A2.2

MATCH LINE  
FOR CONTINUATION  
SEE SHEET A2.2

MATCH LINE  
FOR CONTINUATION  
SEE SHEET A2.1

B  
A4.2/A

A  
A4.2/A



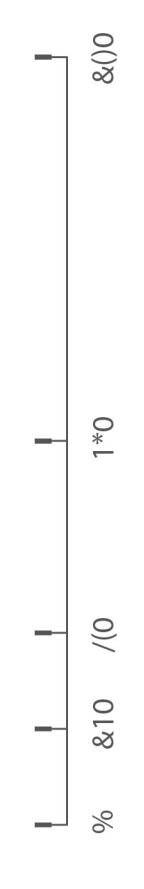
**FLOOR PLAN NOTES**

- 1 STRUCTURAL COLUMNS
- 2 CONCRETE SLAB
- 3 ALUMINUM STOREFRONT SYSTEM
- 4 SECTIONAL GRADE LEVEL DOOR
- 5 SECTIONAL DOCK HIGH DOOR
- 6 HOLLOW METAL DOOR
- 7 CONCRETE TILT-UP PANEL
- 8 ENTRY ELEMENT
- 9 CONCRETE DOCK APRON
- 10 MAIN BUILDING ENTRANCES
- 11 METAL CANOPY ABOVE
- 12 POP-OUT FACADE FEATURE

**WALL LEGEND**

CONCRETE WALL

82/13460-3



1"=5'

56,57689;8;;9586+9-9<=78>7+?9(@9/9A9<=78>7+?989B6,#"=#

)\*+,-./01+234\*.151/673\*\*893;91+993<\*08

**WARE MALCOMB**

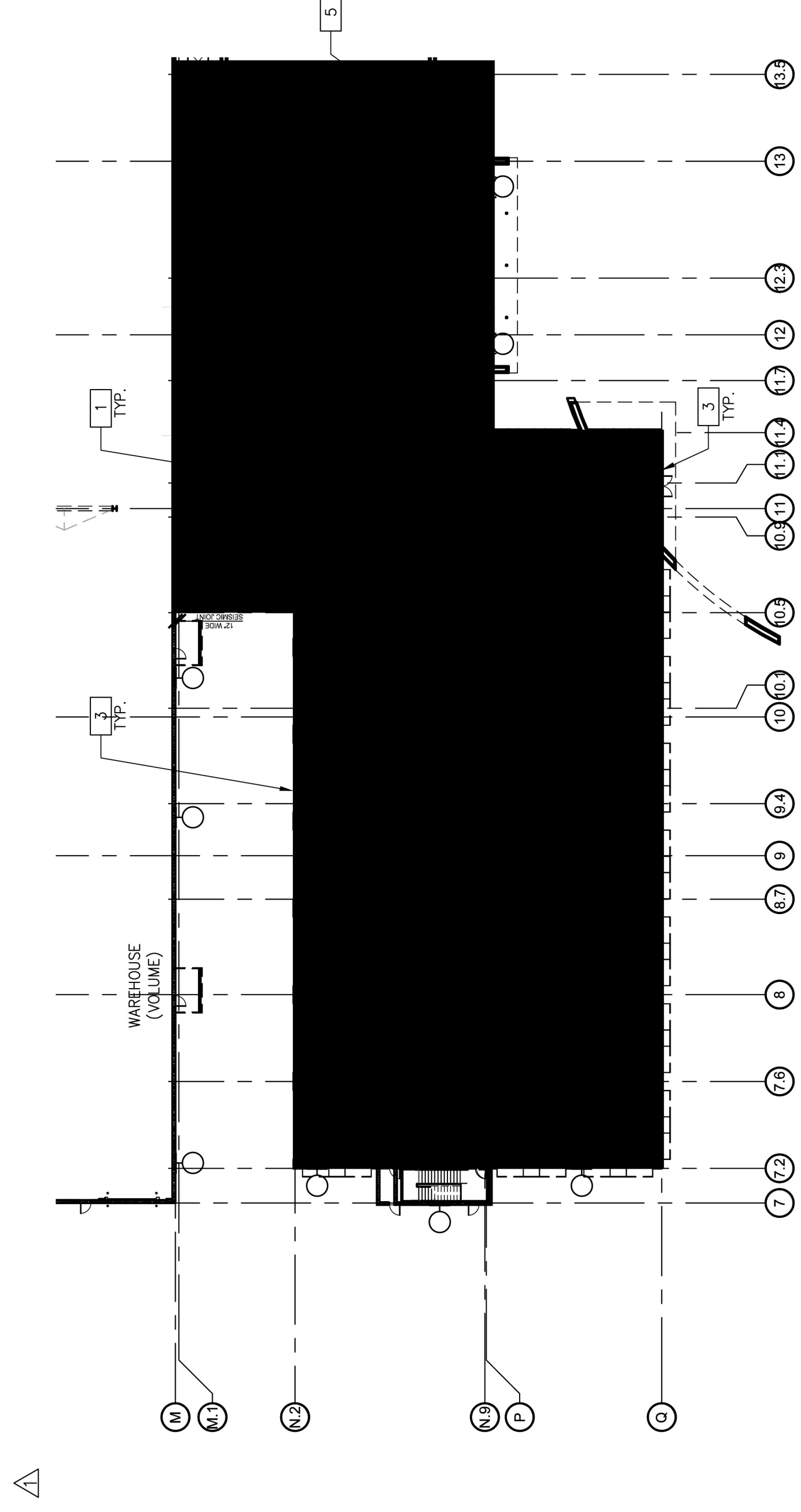
1"=5'  
&'('

C  
A4.2/A

D  
A4.2/A

MATCH LINE  
FOR CONTINUATION  
SEE SHEET A2.1

MATCH LINE  
FOR CONTINUATION  
SEE SHEET A2.1

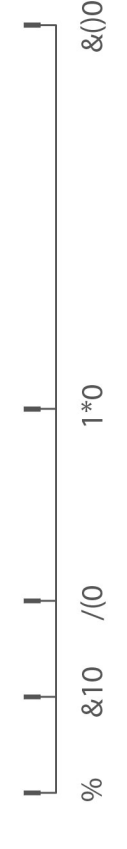


**FLOOR PLAN NOTES**

- 1. STRUCTURAL COLUMNS
- 2. OCCUPIED OFFICE AREA
- 3. ALUMINUM STOREFRONT SYSTEM
- 4. INTERIOR STAIR AND ELEVATOR
- 5. OUTDOOR PATIO AREA

**WALL LEGEND**

- CONCRETE WALL
- 82/134610-3%



!#56+789.66,8;<+

\*+,-./0-12,345+/2620784"+9:4;:2,;<:4=+19

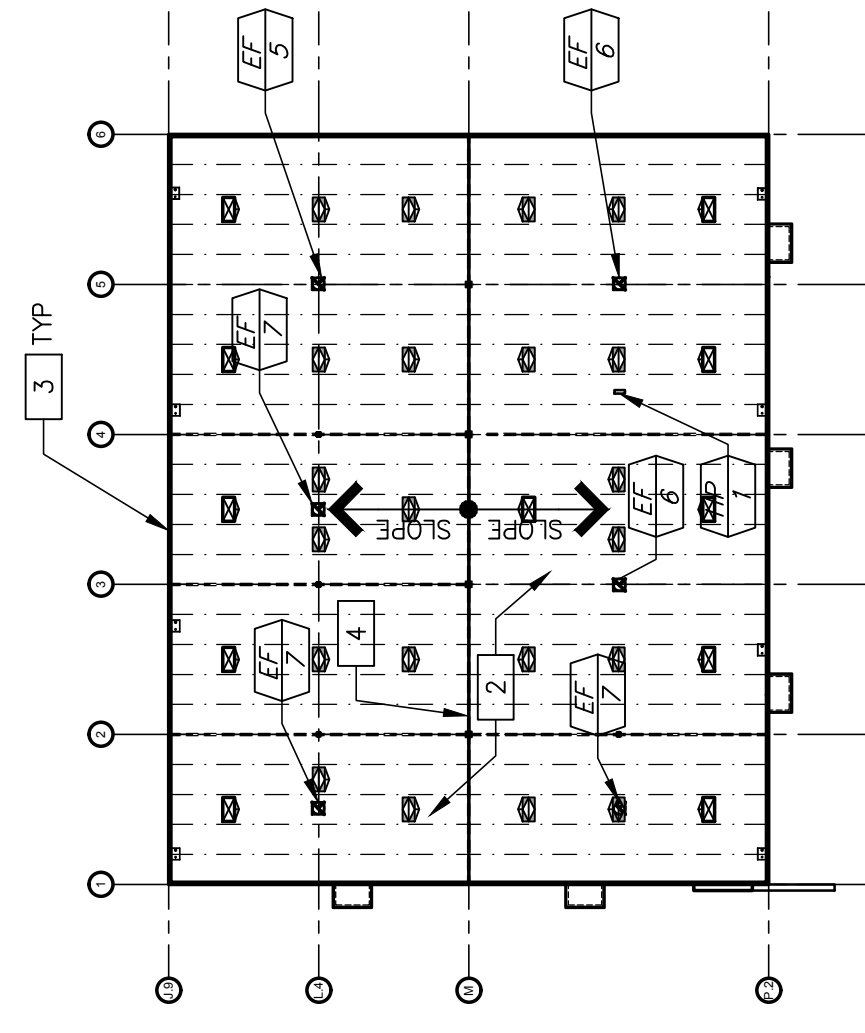
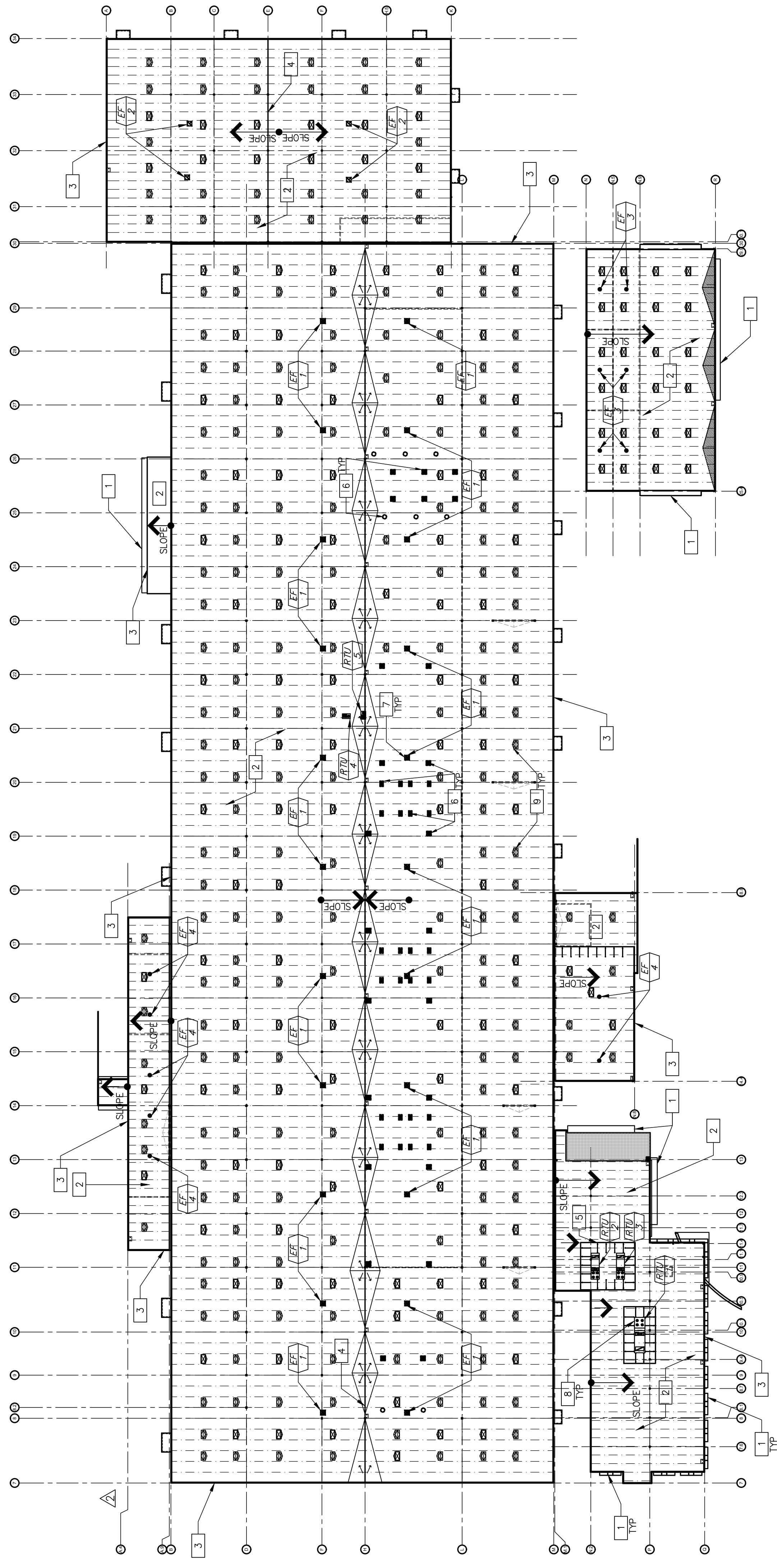
**WARE MALCOMB**

1+2,8+-6%(-6%  
%88(1)9%8\*

1"##\$  
&'0

**ROOFTOP EQUIPMENT SCHEDULE**

SYMBOL	DESCRIPTION	HEIGHT
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	62"
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	62"
	NEW ROOF MOUNTED EXHAUST FAN	64"
	NEW ROOF MOUNTED EXHAUST FAN	78"
	NEW ROOF MOUNTED EXHAUST FAN	46"
	NEW ROOF MOUNTED EXHAUST FAN	46"
	NEW ROOF MOUNTED EXHAUST FAN	76"
	NEW ROOF MOUNTED EXHAUST FAN	76"
	NEW ROOF MOUNTED EXHAUST FAN	62"
	NEW ROOF MOUNTED EXHAUST FAN	55"



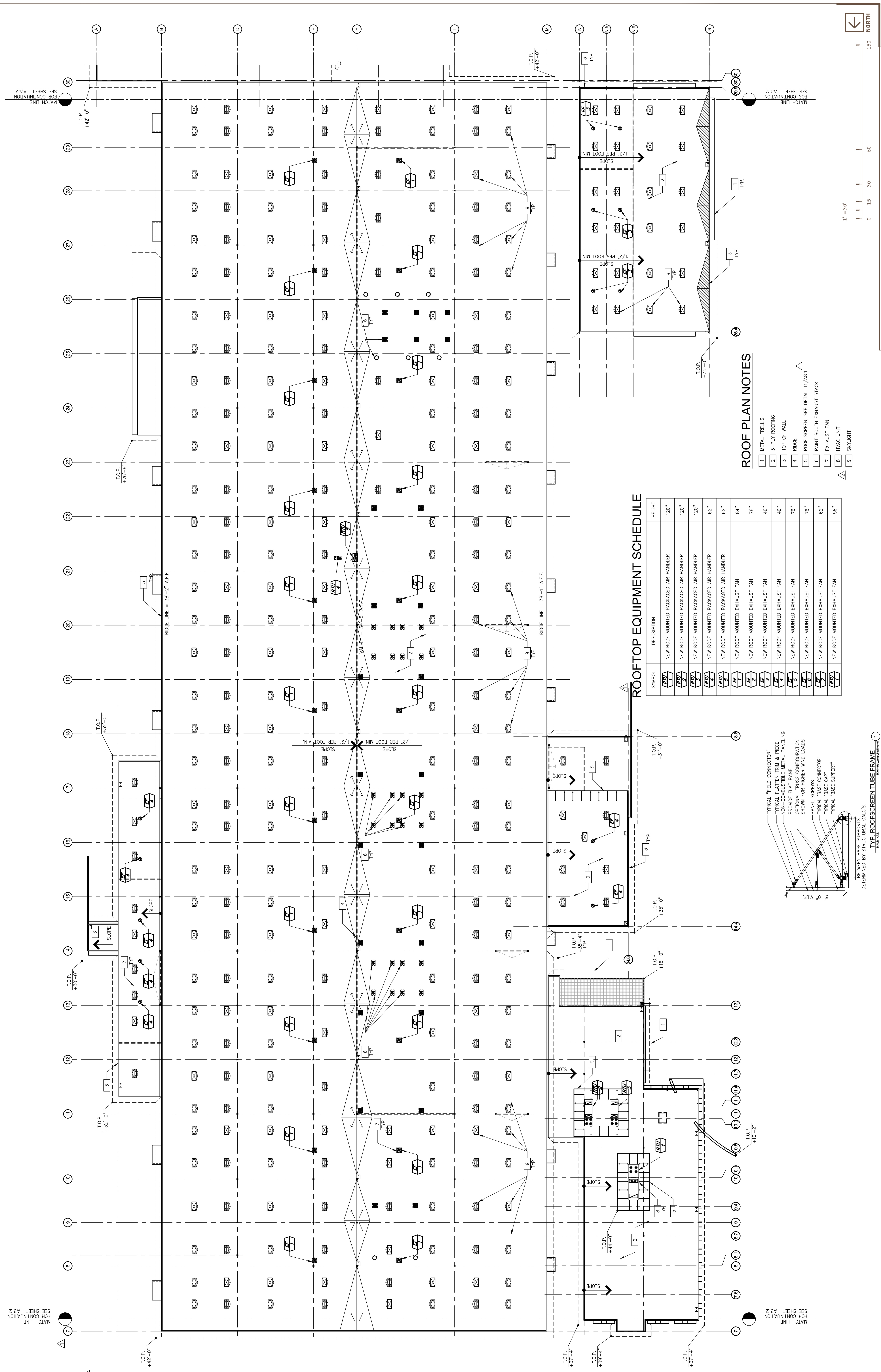
**ROOF PLAN NOTES**

- 1 METAL TRELLIS
- 2 SINGLE PLY ROOFING
- 3 TOP OF WALL
- 4 RIDGE
- 5 ROOF SCREEN
- 6 PAINT BOOTH EXHAUST SYSTEM FANS
- 7 EXHAUST FAN
- 8 HVAC UNIT
- 9 SKYLIGHT

1" = 30'  
 0 15 30 60 150  
 NORTH

OVERALL ROOF PLAN

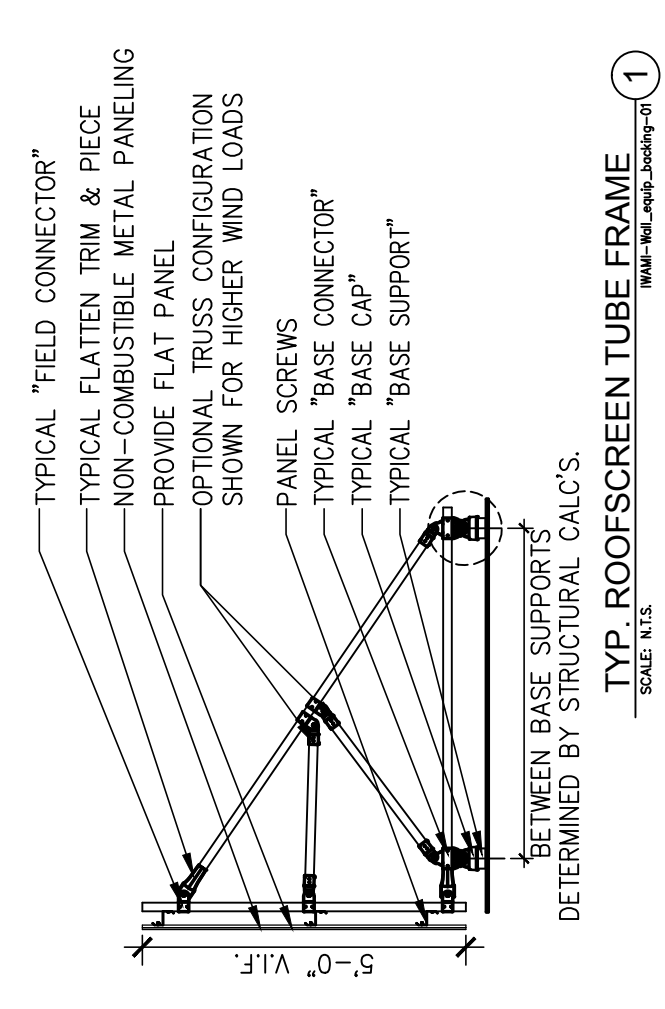
Manufacturing Facility, Oaks Business Park



- ROOF PLAN NOTES**
- 1 METAL TRELLIS
  - 2 3-PLY ROOFING
  - 3 TOP OF WALL
  - 4 RIDGE
  - 5 ROOF SCREEN, SEE DETAIL 11/A8.1
  - 6 PAINT BOOTH EXHAUST STACK
  - 7 EXHAUST FAN
  - 8 HVAC UNIT
  - 9 SKYLIGHT

**ROOFTOP EQUIPMENT SCHEDULE**

SYMBOL	DESCRIPTION	HEIGHT
(RVA) 1	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
(RVA) 2	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
(RVA) 3	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
(RVA) 4	NEW ROOF MOUNTED PACKAGED AIR HANDLER	62"
(RVA) 5	NEW ROOF MOUNTED PACKAGED AIR HANDLER	62"
(RVA) 6	NEW ROOF MOUNTED PACKAGED AIR HANDLER	62"
(RVA) 7	NEW ROOF MOUNTED EXHAUST FAN	94"
(RVA) 8	NEW ROOF MOUNTED EXHAUST FAN	78"
(RVA) 9	NEW ROOF MOUNTED EXHAUST FAN	46"
(RVA) 10	NEW ROOF MOUNTED EXHAUST FAN	46"
(RVA) 11	NEW ROOF MOUNTED EXHAUST FAN	76"
(RVA) 12	NEW ROOF MOUNTED EXHAUST FAN	76"
(RVA) 13	NEW ROOF MOUNTED EXHAUST FAN	62"
(RVA) 14	NEW ROOF MOUNTED EXHAUST FAN	56"



PARTIAL ROOF PLAN - BUILDING 1

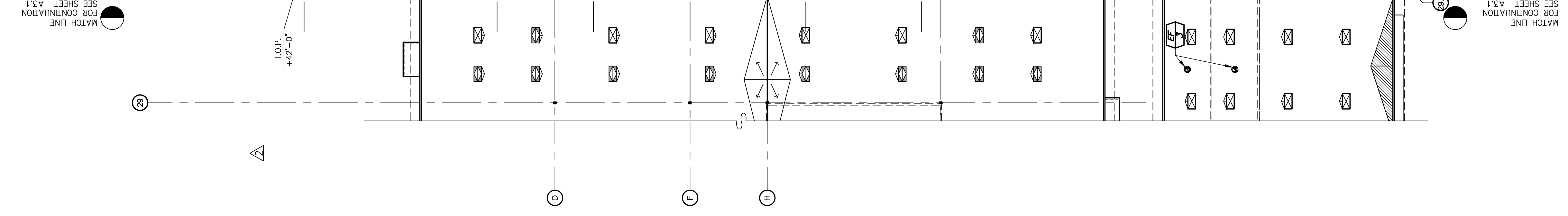
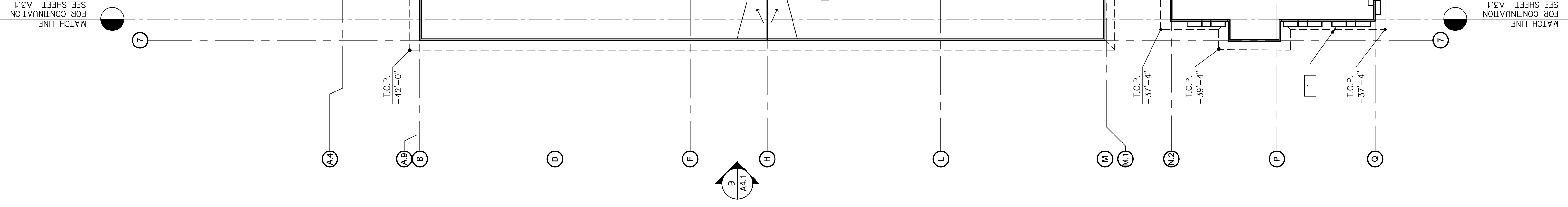
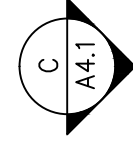
Manufacturing Facility, Oaks Business Park

1" = 30'



MATCH LINE  
 SEE SHEET A3.2  
 FOR CONTINUATION

MATCH LINE  
 SEE SHEET A3.2  
 FOR CONTINUATION



**ROOFTOP EQUIPMENT SCHEDULE**

SYMBOL	DESCRIPTION	HEIGHT
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	120"
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	62"
	NEW ROOF MOUNTED PACKAGED AIR HANDLER	62"
	NEW ROOF MOUNTED EXHAUST FAN	84"
	NEW ROOF MOUNTED EXHAUST FAN	78"
	NEW ROOF MOUNTED EXHAUST FAN	46"
	NEW ROOF MOUNTED EXHAUST FAN	46"
	NEW ROOF MOUNTED EXHAUST FAN	76"
	NEW ROOF MOUNTED EXHAUST FAN	76"
	NEW ROOF MOUNTED EXHAUST FAN	62"
	NEW ROOF MOUNTED EXHAUST FAN	56"

**ROOF PLAN NOTES**

- METAL TRELLIS
- 3-PLY ROOFING
- TOP OF WALL
- RIDGE
- EXHAUST FAN
- HVAC UNIT
- SKYLIGHT



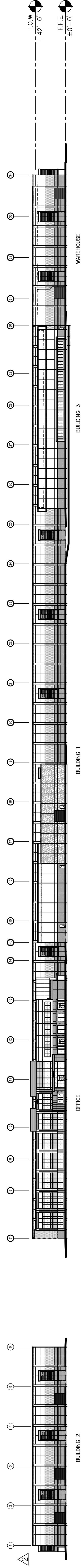
PARTIAL ROOF PLAN - BUILDING 2 & BUILDING 1 WEARHOUSE

Manufacturing Facility, Oaks Business Park

**WARE MALCOLM**

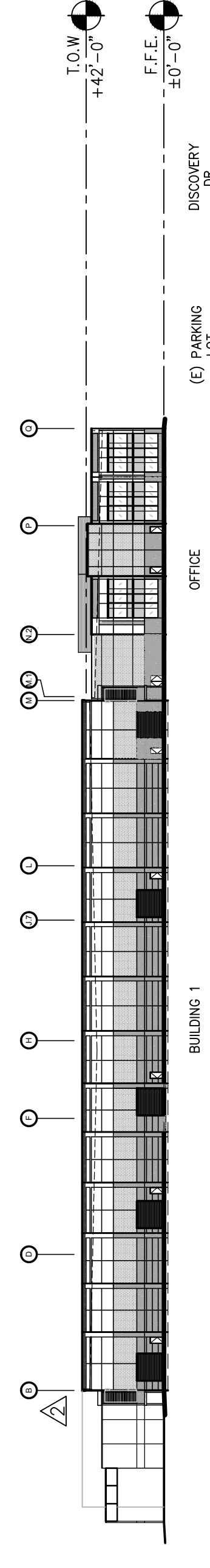
SNR14-0029-00  
01.28.2014

SHEET  
**A3.2**



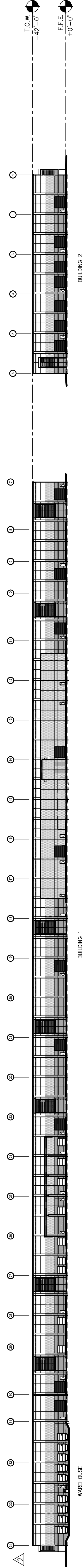
**WEST VIEW - ALONG DISCOVERY DR.**  
SCALE: 1"=60'-0"

**A**



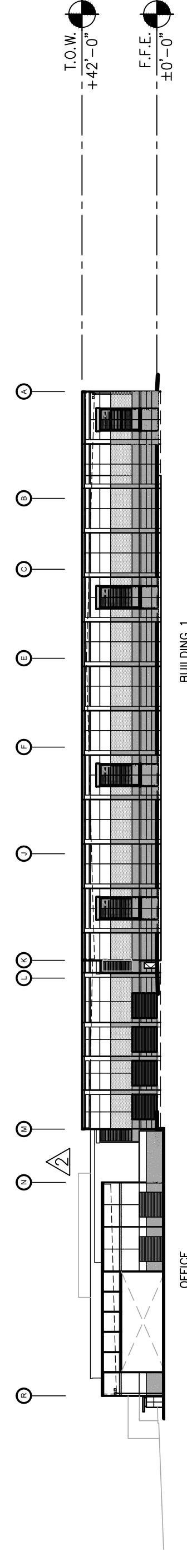
**NORTH VIEW - ALONG JACK LONDON BLVD.**  
SCALE: 1"=60'-0"

**B**



**EAST VIEW - ALONG VOYAGER ST.**  
SCALE: 1"=60'-0"

**C**



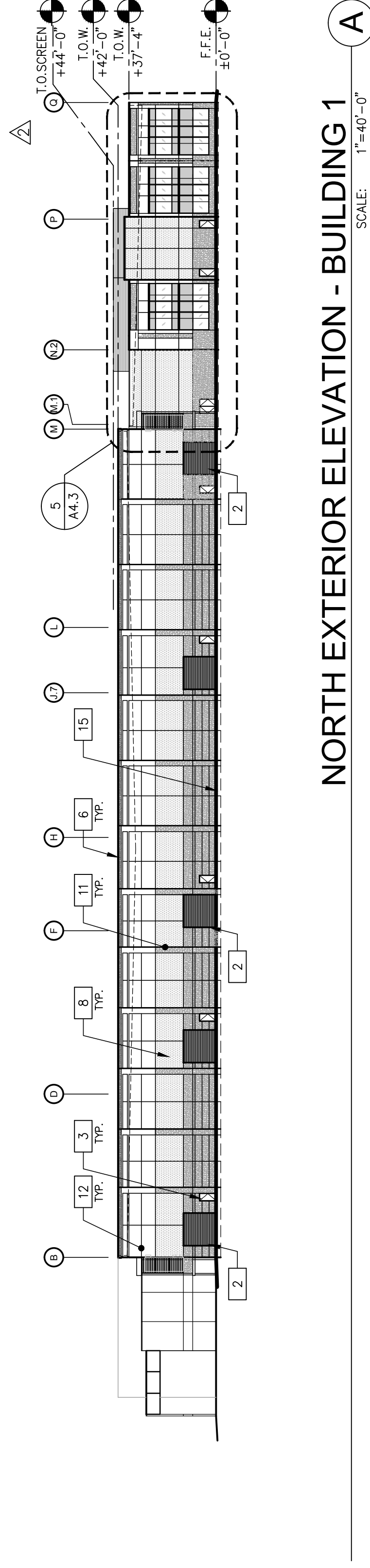
**SOUTH VIEW - ALONG DISCOVERY DR.**  
SCALE: 1"=60'-0"

**D**



OVERALL STREET VIEW ELEVATIONS  
Manufacturing Facility, Oaks Business Park

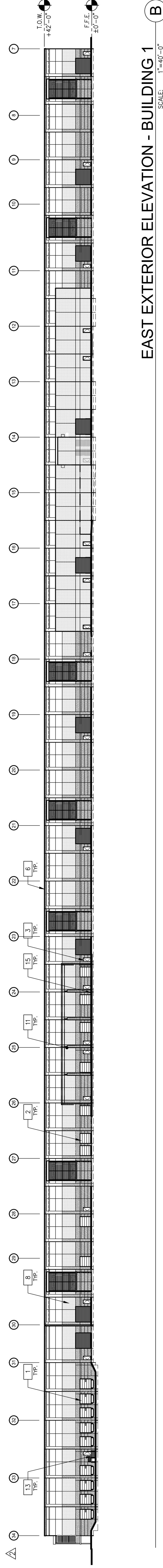




**NORTH EXTERIOR ELEVATION - BUILDING 1**

SCALE: 1"=40'-0"

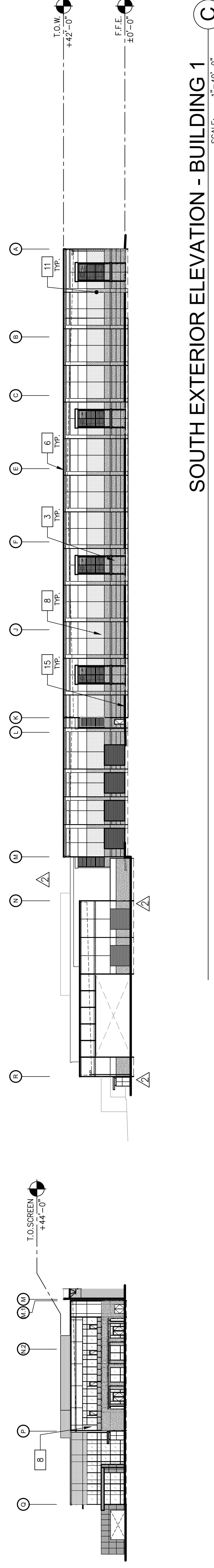
**A**



**EAST EXTERIOR ELEVATION - BUILDING 1**

SCALE: 1"=40'-0"

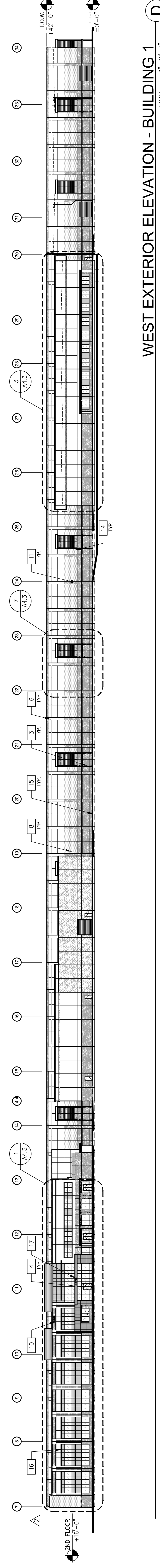
**B**



**SOUTH EXTERIOR ELEVATION - BUILDING 1**

SCALE: 1"=40'-0"

**C**



**WEST EXTERIOR ELEVATION - BUILDING 1**

SCALE: 1"=40'-0"

**D**

**ELEVATION NOTES**

- 1 SECTIONAL DOCK HIGH DOOR, 9'-0" X 10'-0"
- 2 SECTIONAL GRADE LEVEL DOOR
- 3 HOLLOW METAL DOOR
- 4 ALUMINUM STOREFRONT SYSTEM
- 5 WALL LIGHT MOUNTED @ 30'-0" A.F.F.
- 6 ALUMINUM PARAPET CAP
- 7 ROOF LINE BEYOND
- 8 TILT-UP CONCRETE PANEL
- 9 INTERNAL ROOF DRAINS
- 10 BUILDING ADDRESS LOCATION TO COMPLY W/LOCAL REGULATIONS
- 11 CONCRETE TILT-UP PANEL JOINT
- 12 3/4" V-REVEAL
- 13 METAL STAIR EXCESS
- 14 POP-UP FACADE ELEMENT
- 15 FINISH GRADE VARIES, SEE CIVIL DWGS.
- 16 METAL CANOPY
- 17 BUILDING SIGNAGE UNDER SEPARATE PERMIT.
- 18 COVERED ENTRY FEATURE WALL
- 19 EYEBROW SUNSHADE, SEE DETAIL 6/A&1

**COLOR LEGEND**

- A BASE COLOR-SHERWIN WILLIAMS NEBULOUS WHITE / SW7083
- B SECONDARY COLOR-SHERWIN WILLIAMS GRAY MATTERS / SW7066
- C ACCENT COLOR MANUFACTURING FACILITY @ OAKS BUSINESS PARK- BLUE WANSBLOT COLOR-SHERWIN WILLIAMS CITYSCOPE / SW7067

**LEGEND**

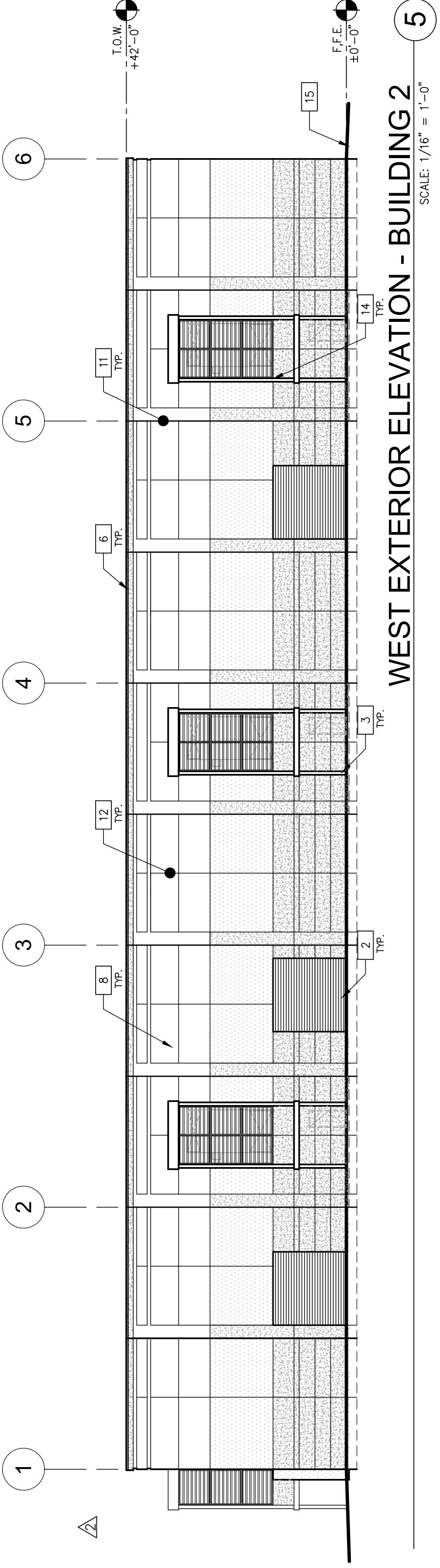
- VISION GLASS - PPG WISACOL - AZURIA, SUNGUARD (SINGLE GLAZING CLEARSTORY LITES ONLY)
- SPANDREL GLASS - IGD HIGH PERFORMANCE 3-0770 WARM GRAY.
- WALL PACK LIGHT FIXTURE, REFER TO PHOTO-METRIC DRAWING

**PRELIMINARY BUILDING 1 - EXTERIOR ELEVATIONS**

1"=40'

0 20 40 80 200

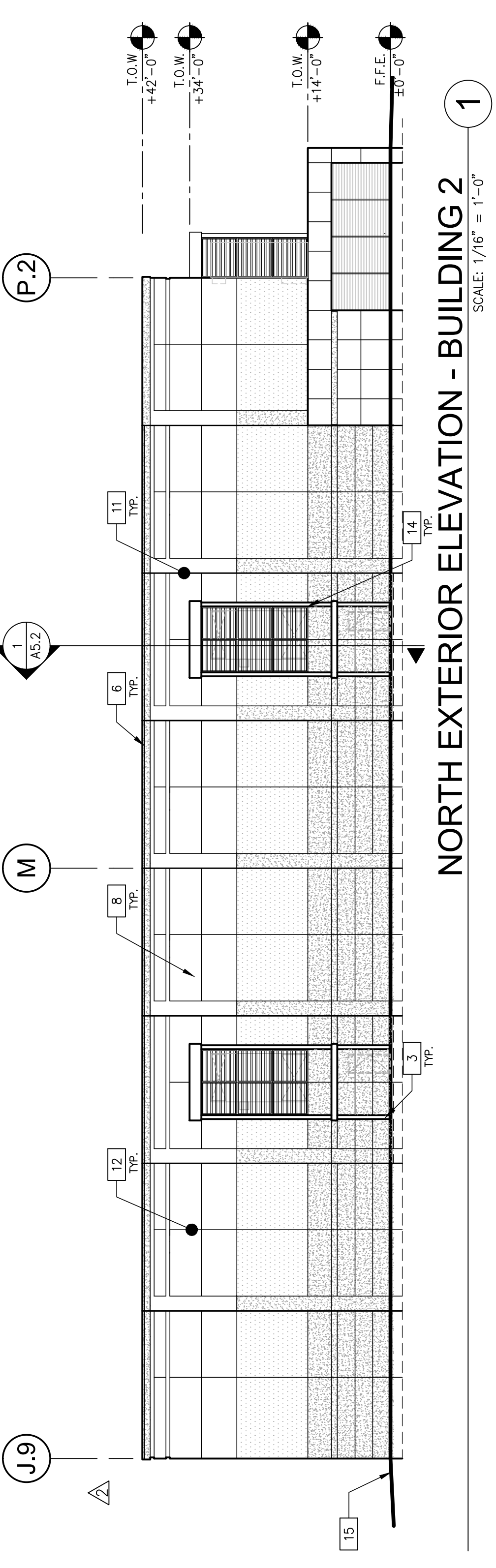
**Manufacturing Facility, Oaks Business Park**



WEST EXTERIOR ELEVATION - BUILDING 2

SCALE: 1/16" = 1'-0"

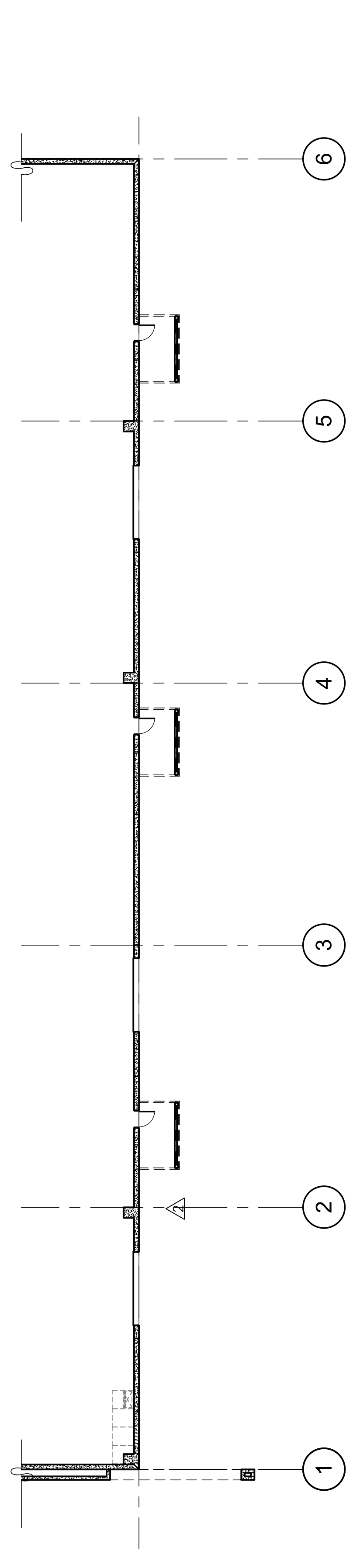
5



NORTH EXTERIOR ELEVATION - BUILDING 2

SCALE: 1/16" = 1'-0"

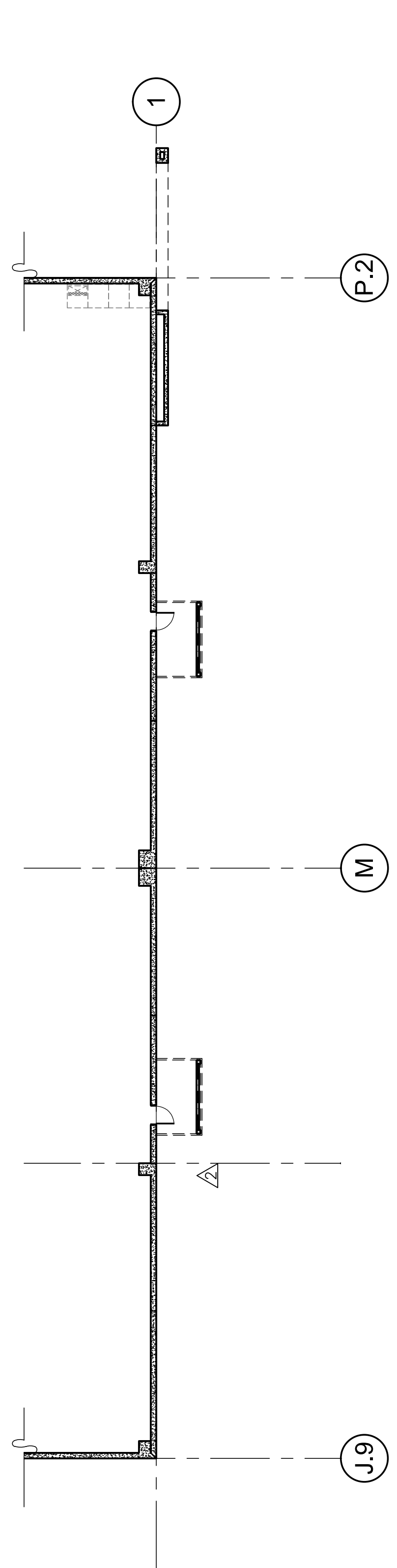
1



FLOOR PLAN

SCALE: 1/16" = 1'-0"

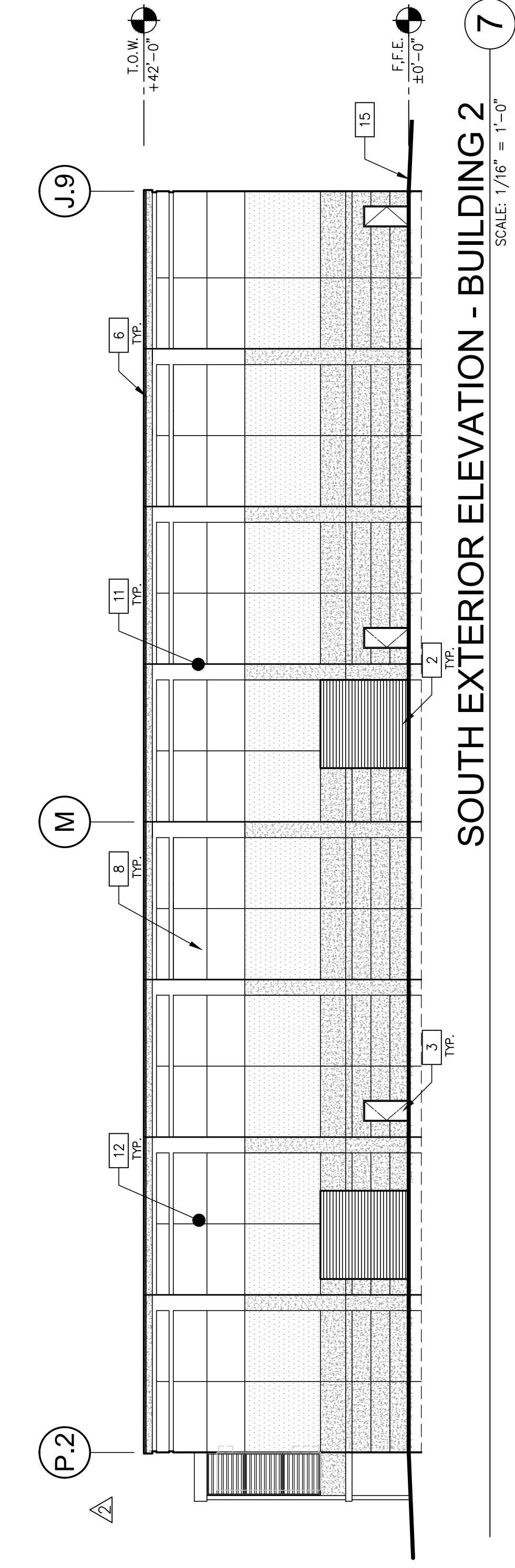
6



FLOOR PLAN

SCALE: 1/16" = 1'-0"

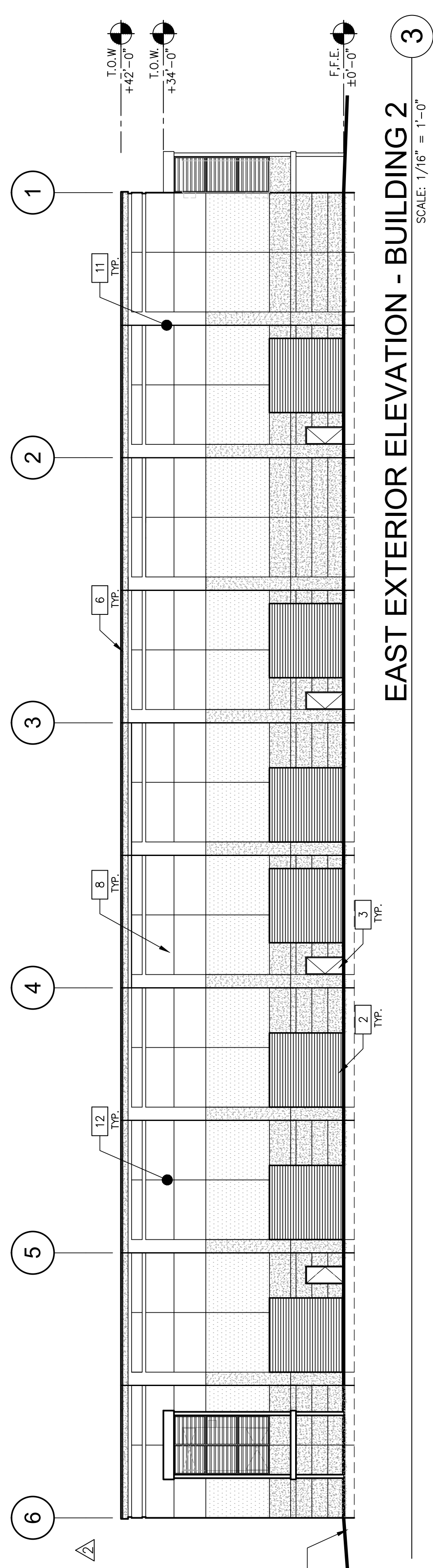
2



SOUTH EXTERIOR ELEVATION - BUILDING 2

SCALE: 1/16" = 1'-0"

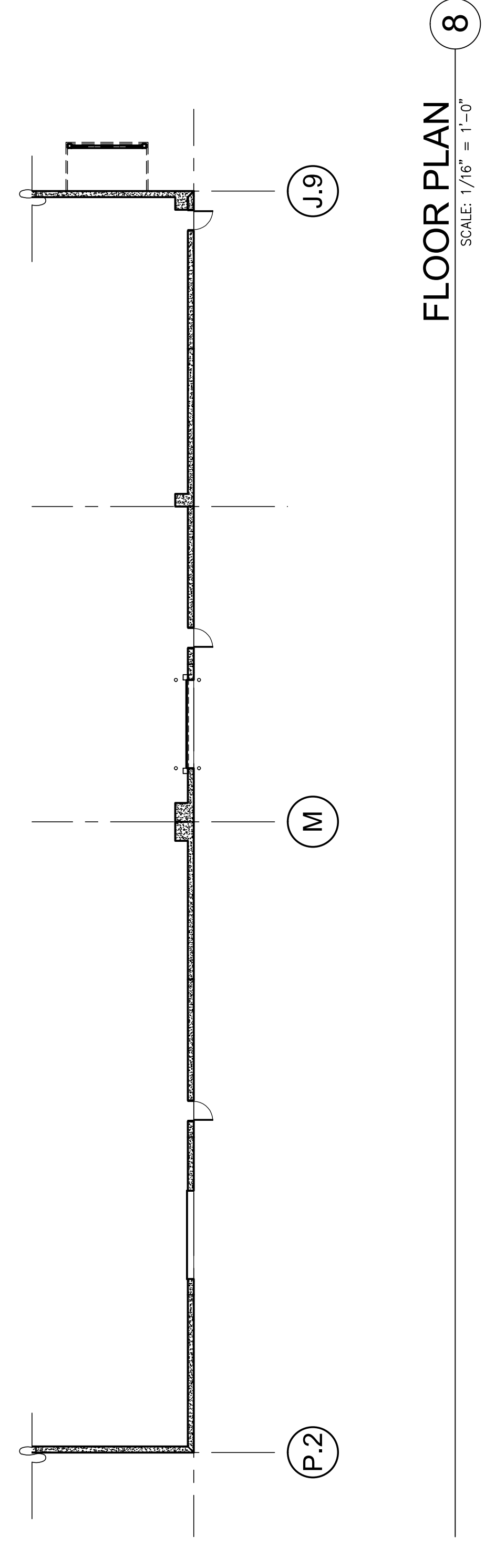
7



EAST EXTERIOR ELEVATION - BUILDING 2

SCALE: 1/16" = 1'-0"

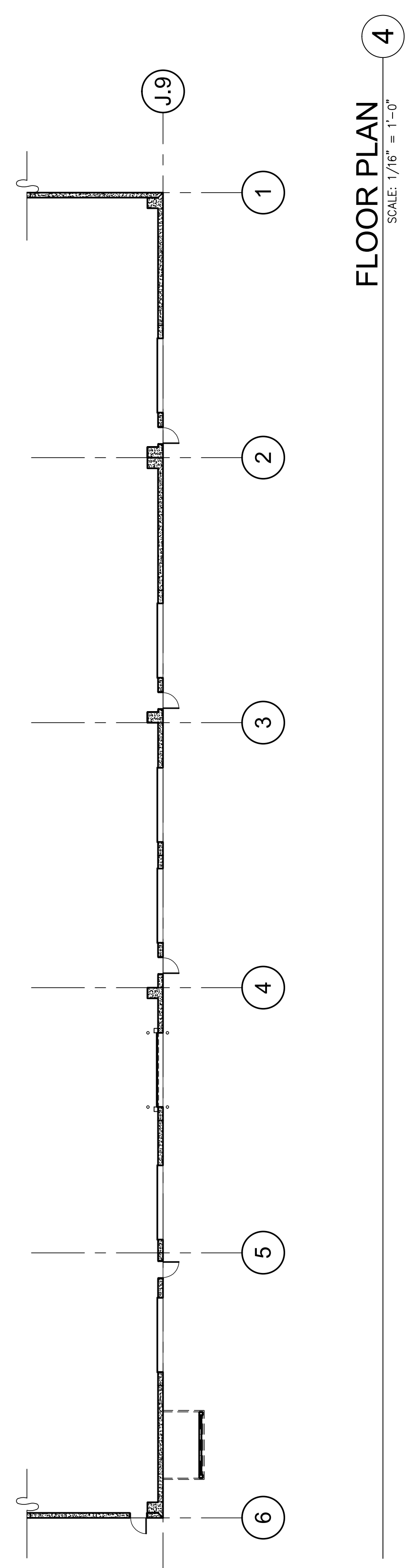
3



FLOOR PLAN

SCALE: 1/16" = 1'-0"

8



FLOOR PLAN

SCALE: 1/16" = 1'-0"

4

ELEVATION NOTES

- 1 SECTIONAL DOCK HIGH DOOR, 9'-0" X 10'-0"
- 2 SECTIONAL GRADE LEVEL DOOR
- 3 HOLLOW METAL DOOR
- 4 ALUMINUM STOREFRONT SYSTEM
- 5 WALL LIGHT MOUNTED @ 30'-0" A.F.F.
- 6 ALUMINUM PARAPET CAP
- 7 ROOF LINE BEYOND
- 8 TILT-UP CONCRETE PANEL
- 9 INTERNAL ROOF DRAINS
- 10 BUILDING ADDRESS LOCATION TO COMPLY W/LOCAL CITY ORDINANCE
- 11 CONCRETE TILT-UP PANEL JOINT

COLOR LEGEND

- A BASE COLOR-SHERWIN WILLIAMS NEBULOUS WHITE / SW7083
- B SECONDARY COLOR- SHERWIN WILLIAMS GRAY MATTERS / SW7066
- C ACCENT COLOR - "MANUFACTURING FACILITY @ OAKS BUSINESS PARK" BLUE
- D WANSICOT COLOR - SHERWIN WILLIAMS CITYSCAPE / SW7087

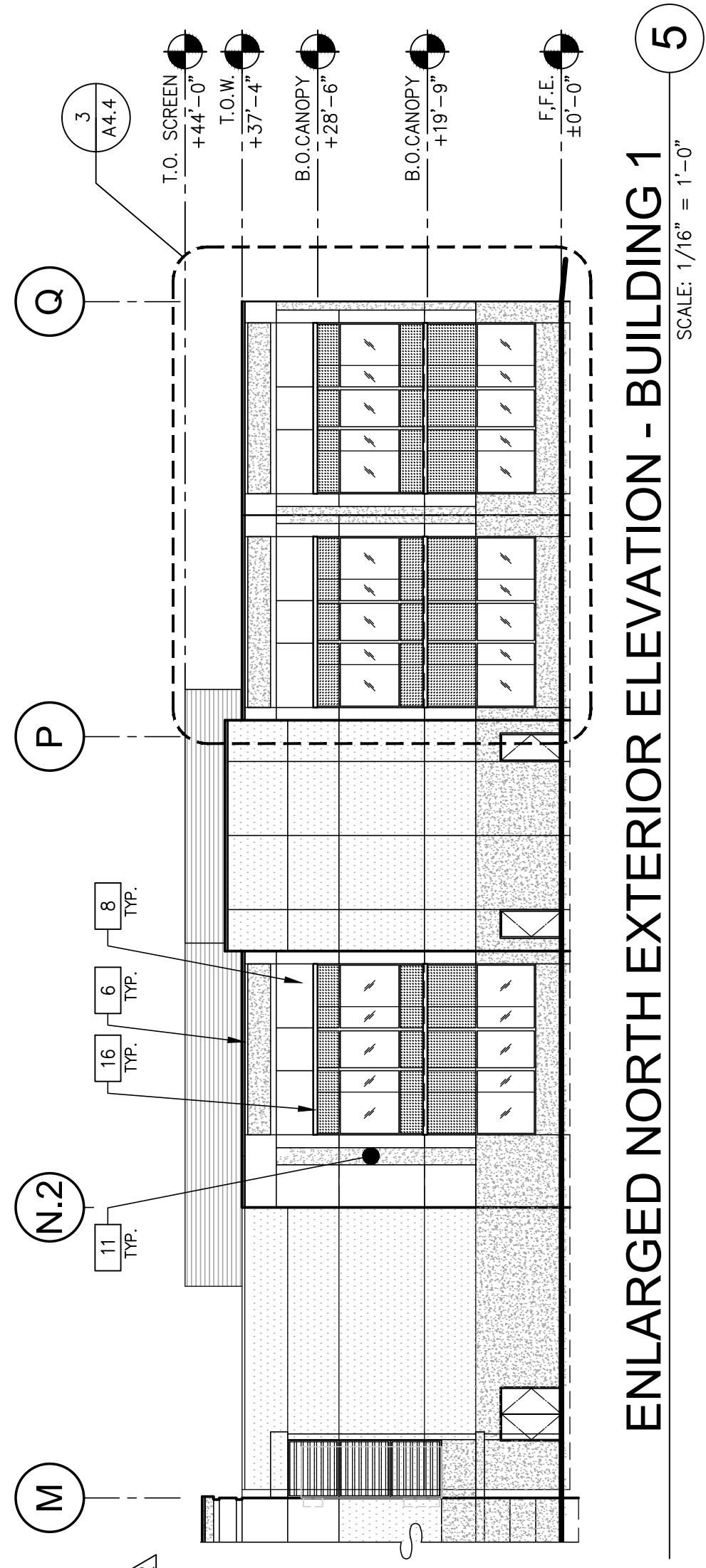
LEGEND

- VISION GLASS - ASPIRA, SUNGUARD (SINGLE GLAZING CLEARSTORY LITES ONLY)
- SPANDREL GLASS - ICED HIGH PERFORMANCE 3-0770 WARM GRAY.
- WALL PANEL LIGHT FEATURE - REFER TO PHOTOGRAPHIC DRAWING

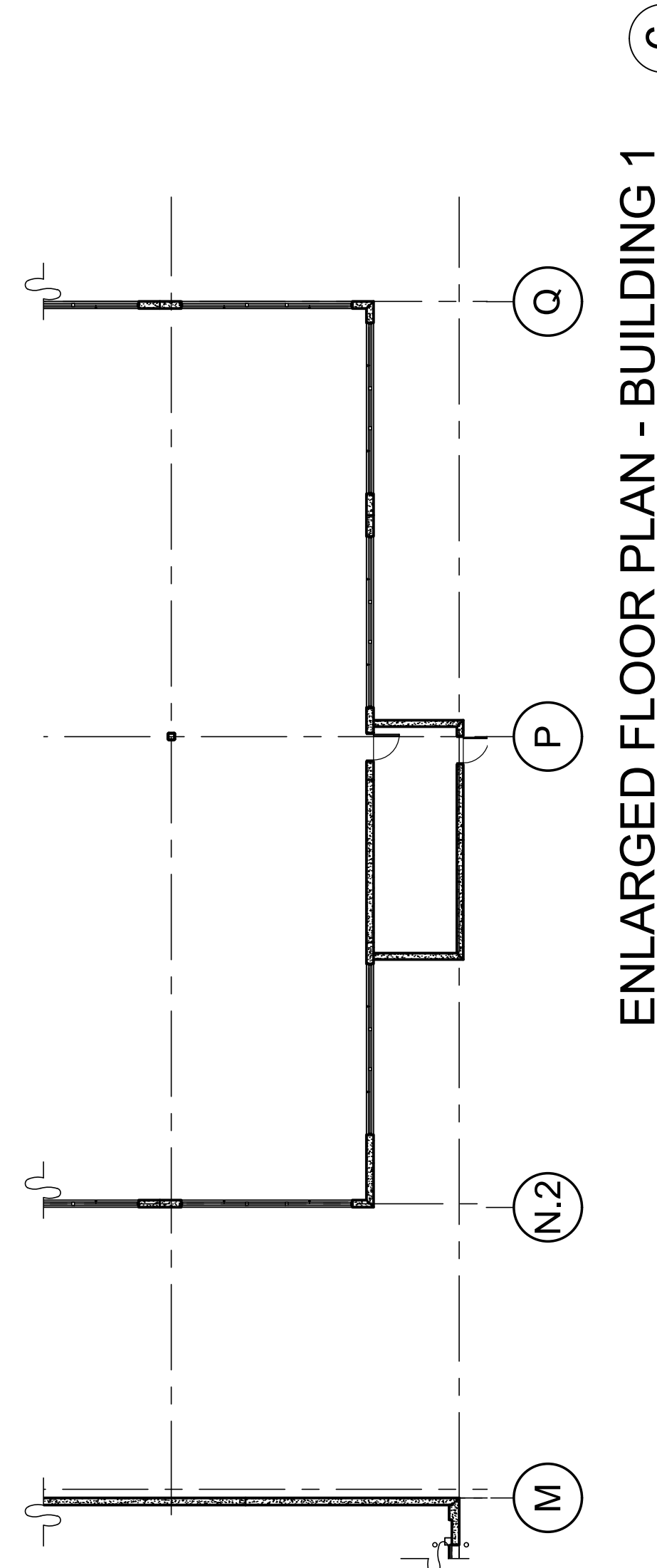
PRELIMINARY BUILDING 2 - EXTERIOR ELEVATIONS



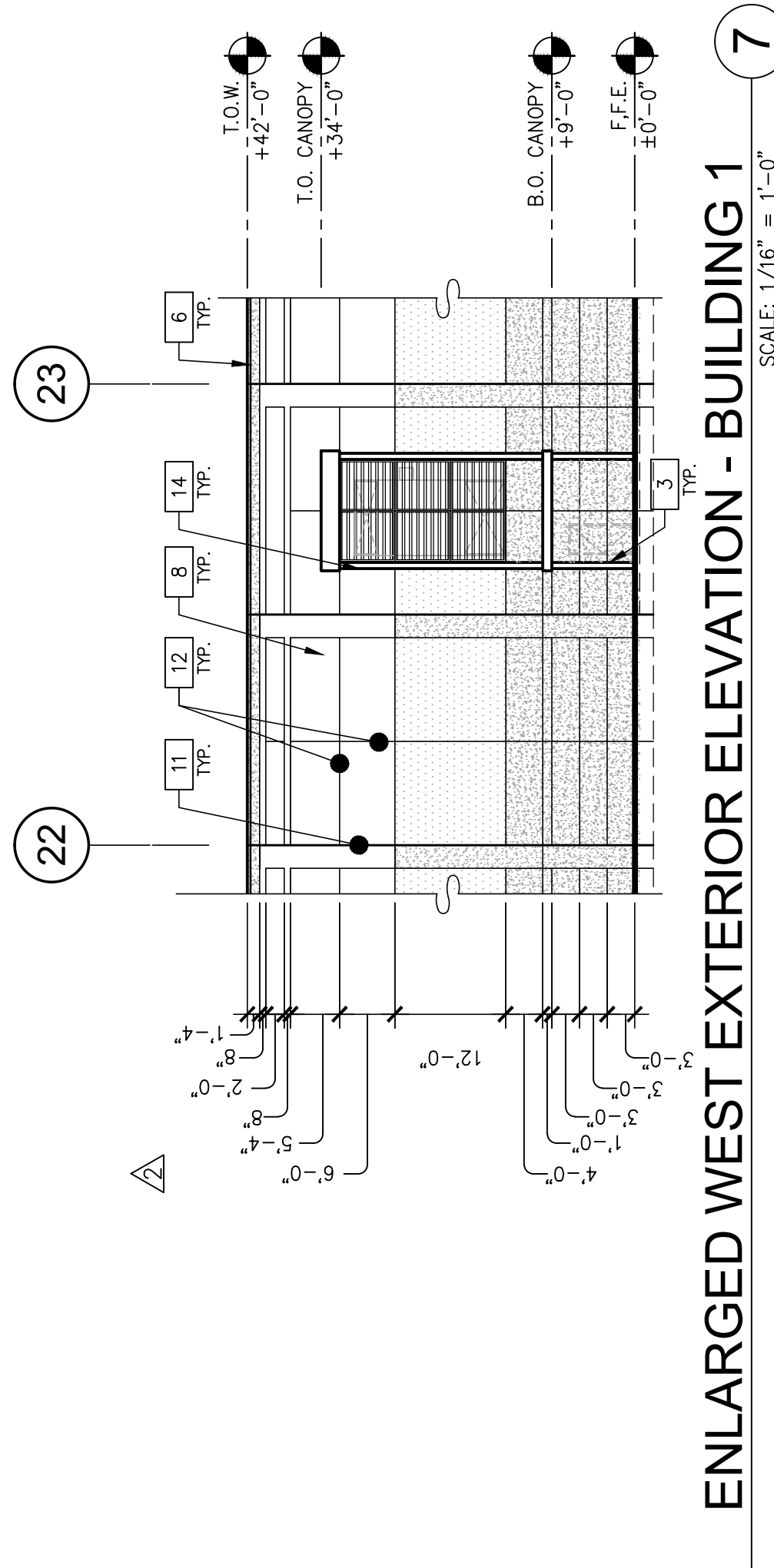
Manufacturing Facility, Oaks Business Park



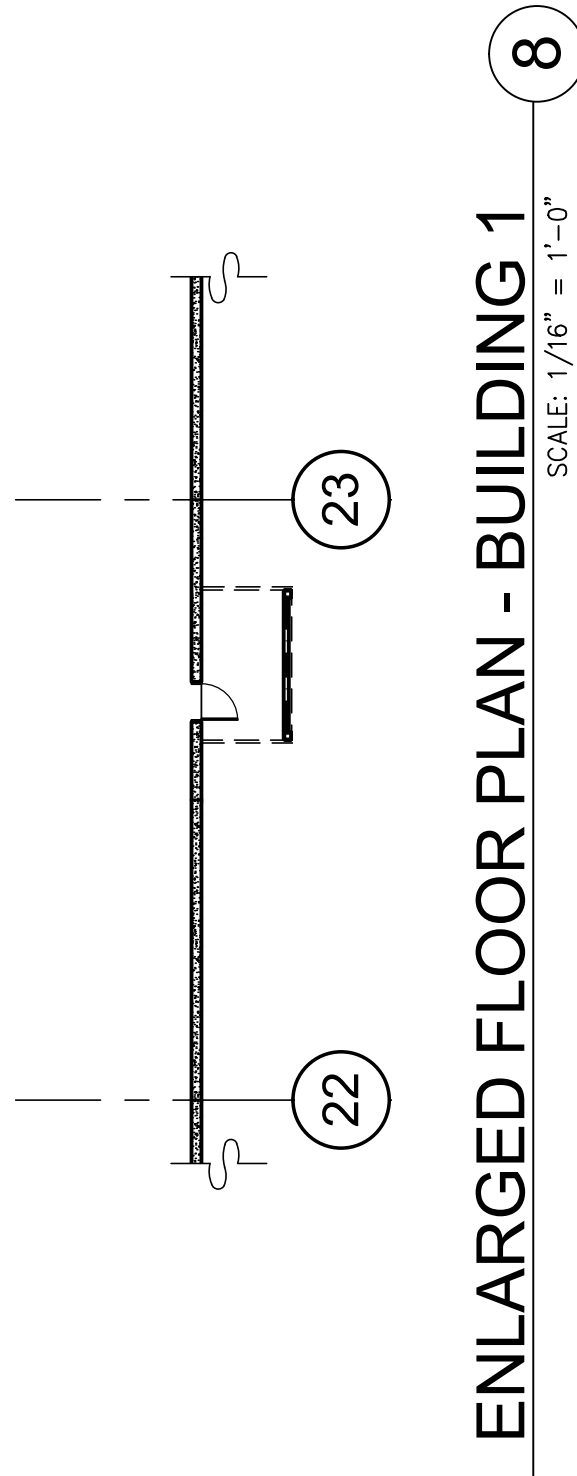
ENLARGED NORTH EXTERIOR ELEVATION - BUILDING 1  
SCALE: 1/16" = 1'-0"



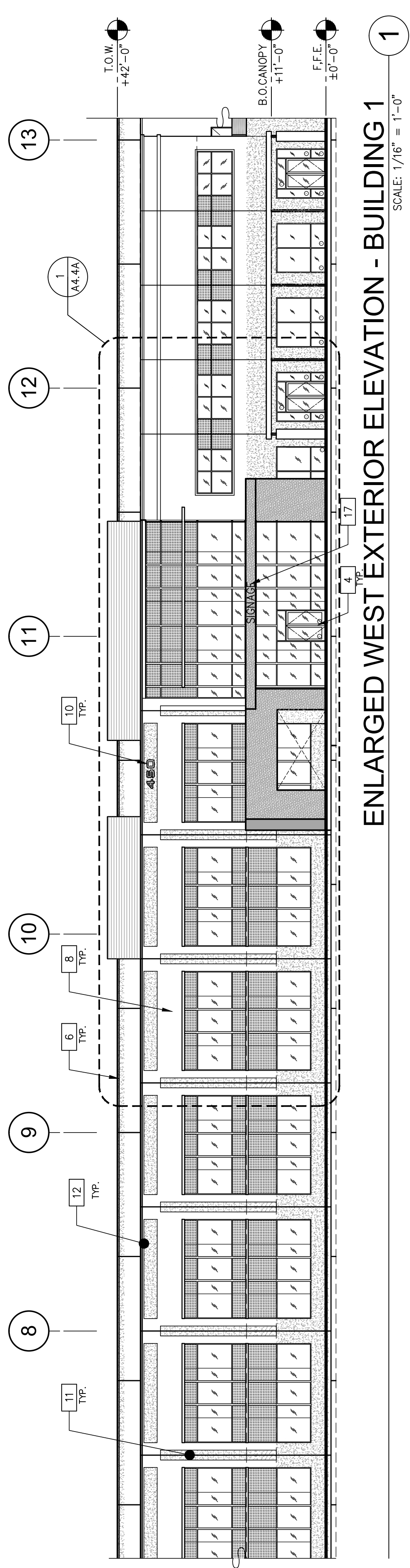
ENLARGED FLOOR PLAN - BUILDING 1  
SCALE: 1/16" = 1'-0"



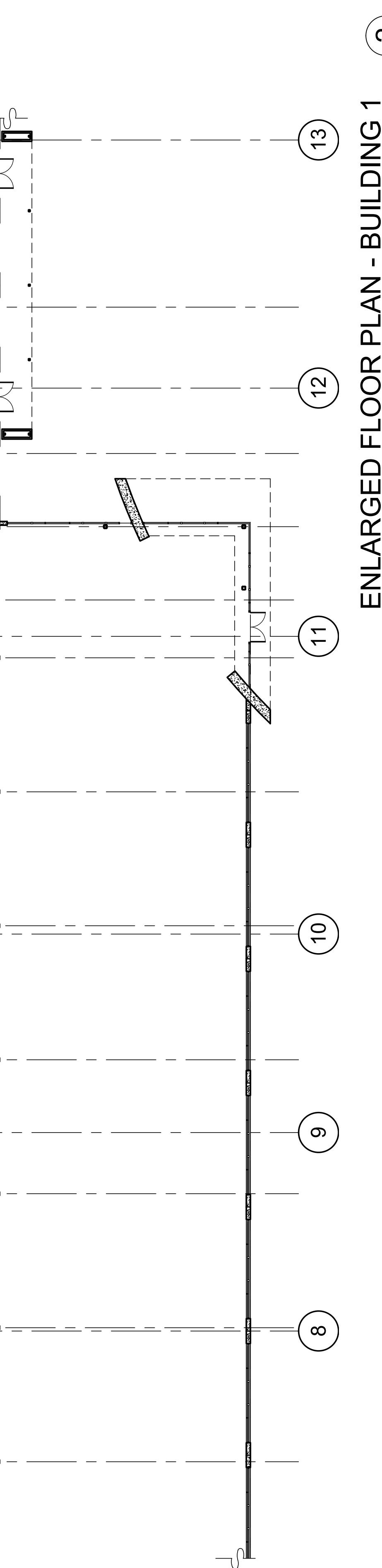
ENLARGED WEST EXTERIOR ELEVATION - BUILDING 1  
SCALE: 1/16" = 1'-0"



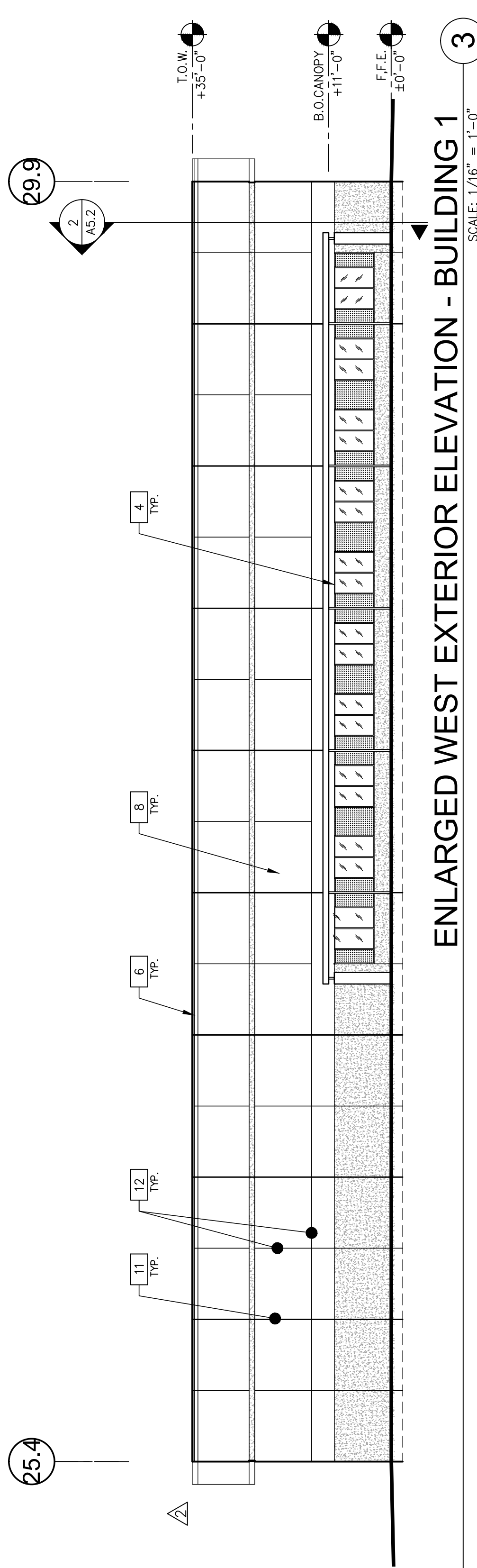
ENLARGED FLOOR PLAN - BUILDING 1  
SCALE: 1/16" = 1'-0"



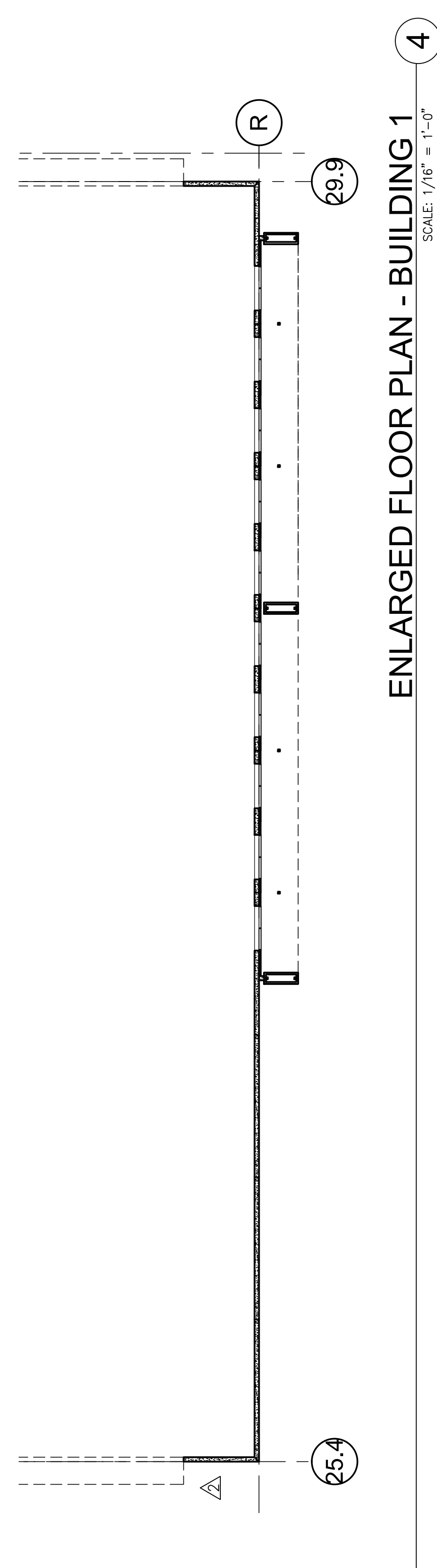
ENLARGED WEST EXTERIOR ELEVATION - BUILDING 1  
SCALE: 1/16" = 1'-0"



ENLARGED FLOOR PLAN - BUILDING 1  
SCALE: 1/16" = 1'-0"



ENLARGED WEST EXTERIOR ELEVATION - BUILDING 1  
SCALE: 1/16" = 1'-0"



ENLARGED FLOOR PLAN - BUILDING 1  
SCALE: 1/16" = 1'-0"

**ELEVATION NOTES**

- 1 SECTIONAL DOCK HIGH DOOR, 9'-0" x 10'-0"
- 2 SECTIONAL GRADE LEVEL DOOR
- 3 HOLLOW METAL DOOR
- 4 ALUMINUM STOREFRONT SYSTEM
- 5 WALL LIGHT MOUNTED @ 30'-0" A.F.F.
- 6 ALUMINUM PARAPET CAP
- 7 ROOF LINE BEYOND
- 8 TILT-UP CONCRETE PANEL
- 9 INTERNAL ROOF DRAINS
- 10 BUILDING ADDRESS LOCATION TO COMPLY W/LOCAL CITY ORDINANCE
- 11 CONCRETE TILT-UP PANEL JOINT

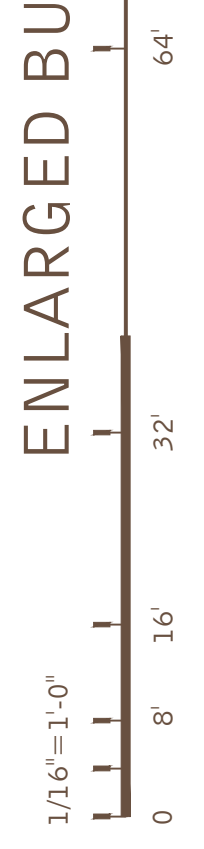
**COLOR LEGEND**

- A BASE COLOR-SHERWIN WILLIAMS NEBULOUS WHITE / SW7083
- B SECONDARY COLOR-SHERWIN WILLIAMS GRAY MATTERS / SW7066
- C ACCENT COLOR - "MANUFACTURING FACILITY @ OAKS BUSINESS PARK" BLUE
- D WAINSCOT COLOR - SHERWIN WILLIAMS CITYSCAPE / SW7087

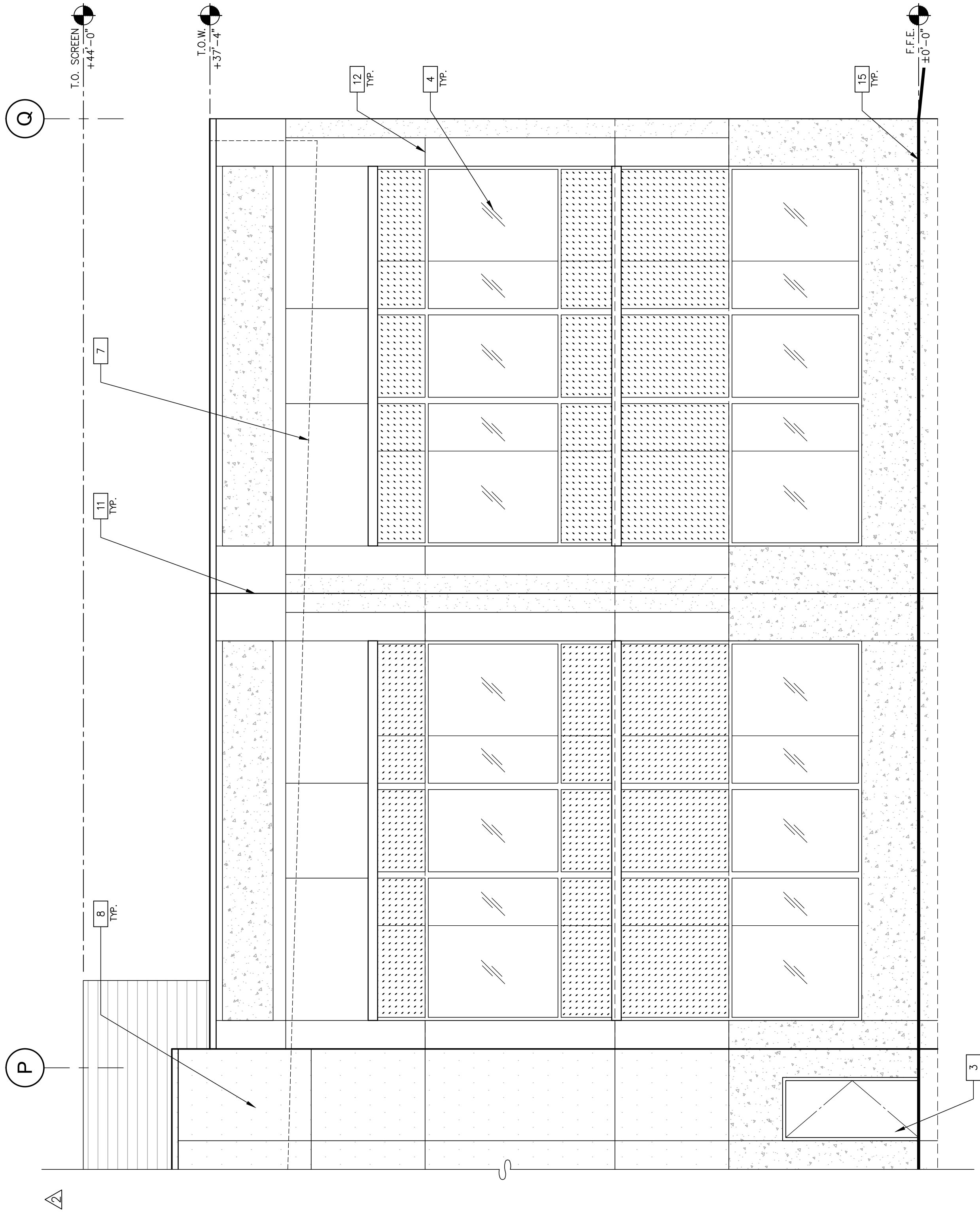
**LEGEND**

- 1 VISION GLASS PPG INSTACOOL AZURIA, SUNGUARD (SINGLE GLAZING CLERESTORY LITES ONLY)
- 2 SPANDREL GLASS ICD HIGH PERFORMANCE 3-0770 WARM GRAY.
- 3 WALL PACK LIGHT FIXTURE REFER TO PHOTOMETRIC DRAWING

ENLARGED BUILDING 1 - EXTERIOR ELEVATIONS



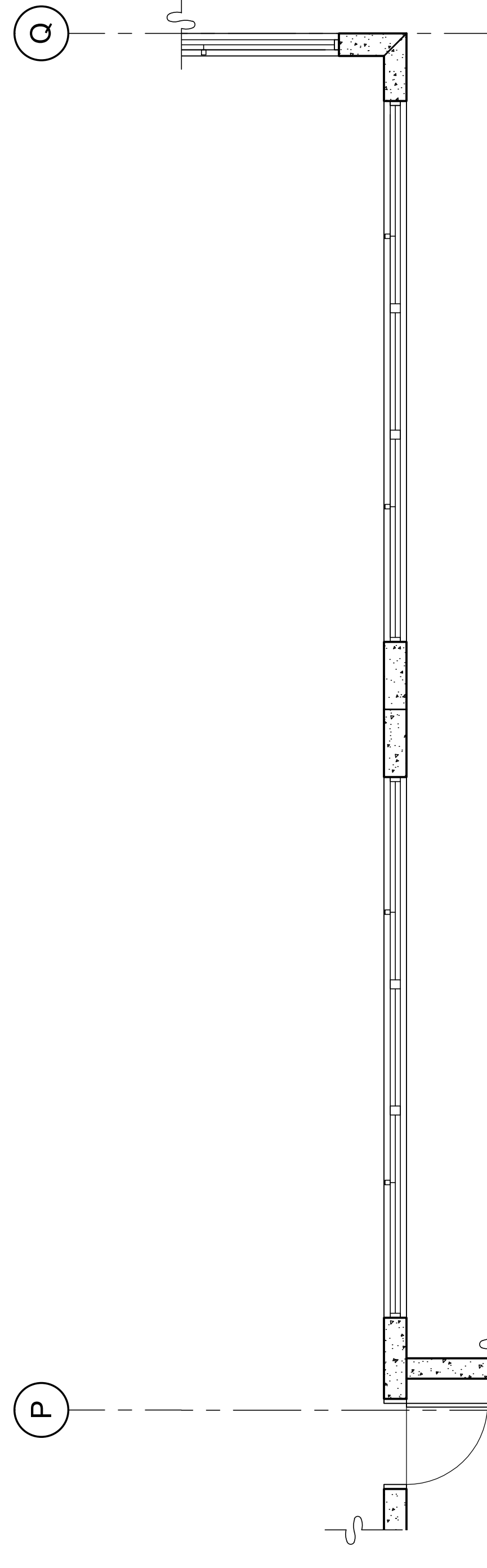
Manufacturing Facility, Oaks Business Park



ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"

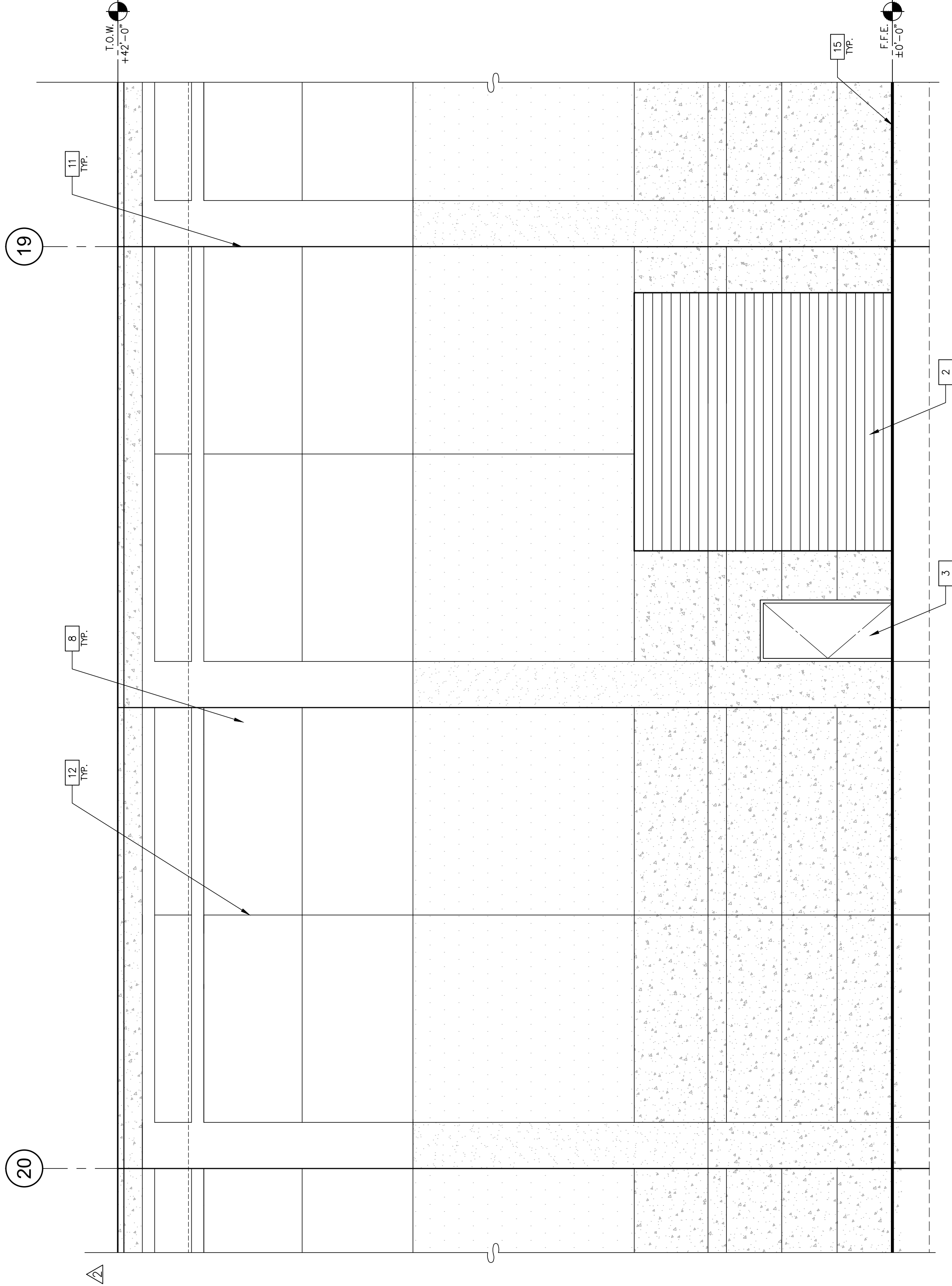
3



ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"

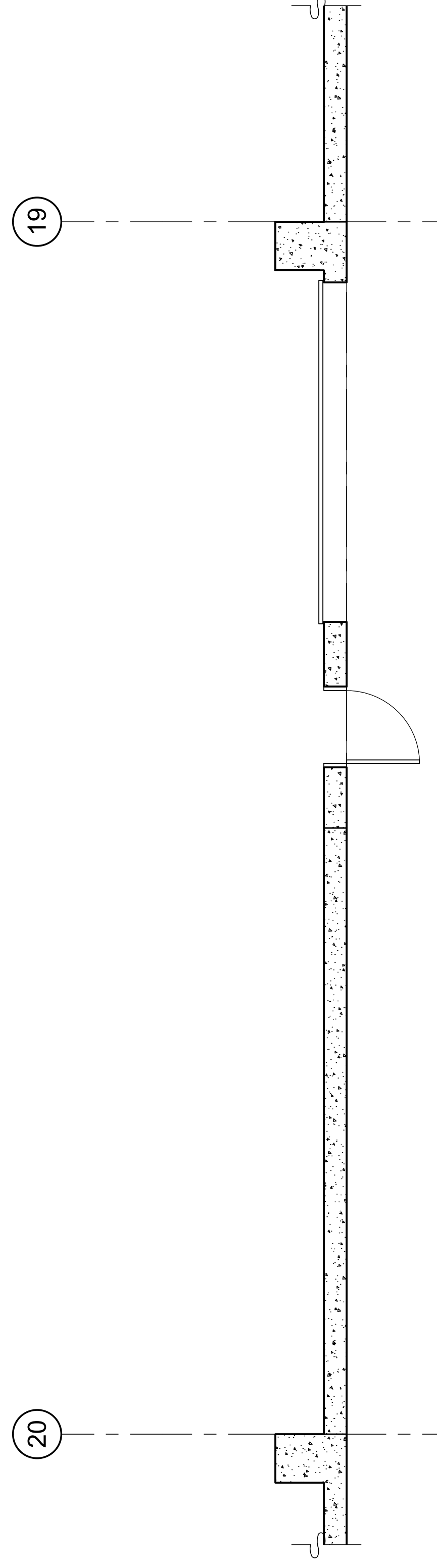
4



ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"

1



ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"

2

ELEVATION NOTES

- 1 SECTIONAL DOCK HIGH DOOR, 9'-0" x 10'-0"
- 2 SECTIONAL GRADE LEVEL DOOR
- 3 HOLLOW METAL DOOR
- 4 ALUMINUM STOREFRONT SYSTEM
- 5 WALL LIGHT MOUNTED @ 30'-0" A.F.F.
- 6 ALUMINUM PARAPET CAP
- 7 ROOF LINE BEYOND
- 8 TILT-UP CONCRETE PANEL
- 9 INTERNAL ROOF DRAINS
- 10 BUILDING ADDRESS LOCATION TO COMPLY W/LOCAL CITY ORDINANCE
- 11 CONCRETE TILT-UP PANEL JOINT
- 12 3/4" V-REVEAL
- 13 METAL STAIR EGRESS
- 14 POP-UP FACADE ELEMENT
- 15 FINISH GRADE VARIES, SEE CIVIL DWGS.
- 16 METAL CANOPY
- 17 BUILDING SIGNAGE UNDER SEPARATE PERMIT.
- 18 COVERED ENTRY FEATURE WALL
- 19 EYEBROW SUNSHADE, SEE DETAIL 6/A.1

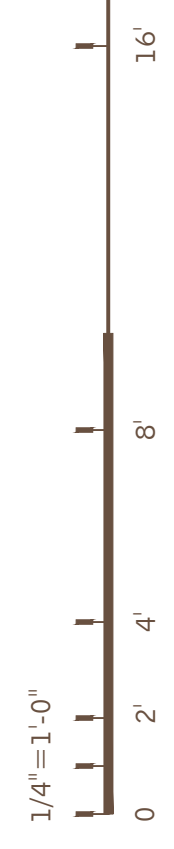
COLOR LEGEND

- A BASE COLOR-SHERWIN WILLIAMS NEBULOUS WHITE / SW7063
- B SECONDARY COLOR- SHERWIN WILLIAMS GRAY MATTERS / SW7066
- C ACCENT COLOR - "MANUFACTURING FACILITY @ OAKS BUSINESS PARK" BLUE
- D WANSLOT COLOR - SHERWIN WILLIAMS CITYSCAPE / SW7087

LEGEND

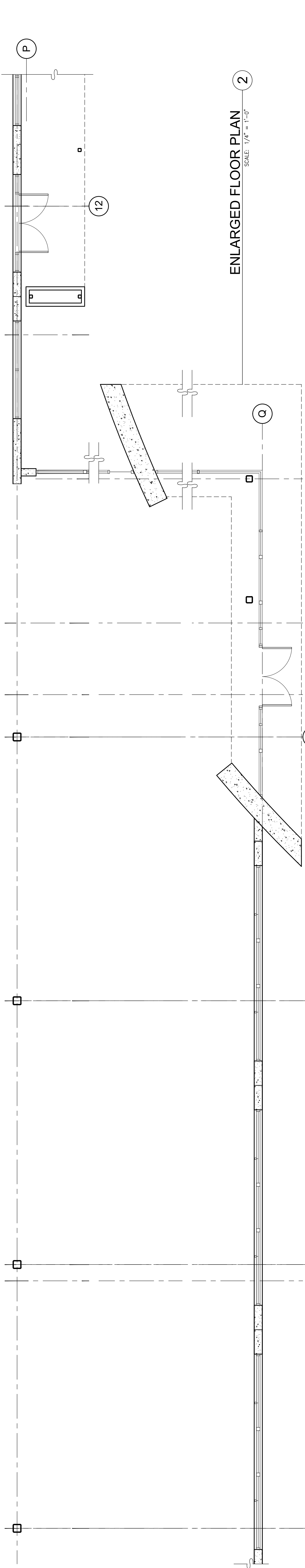
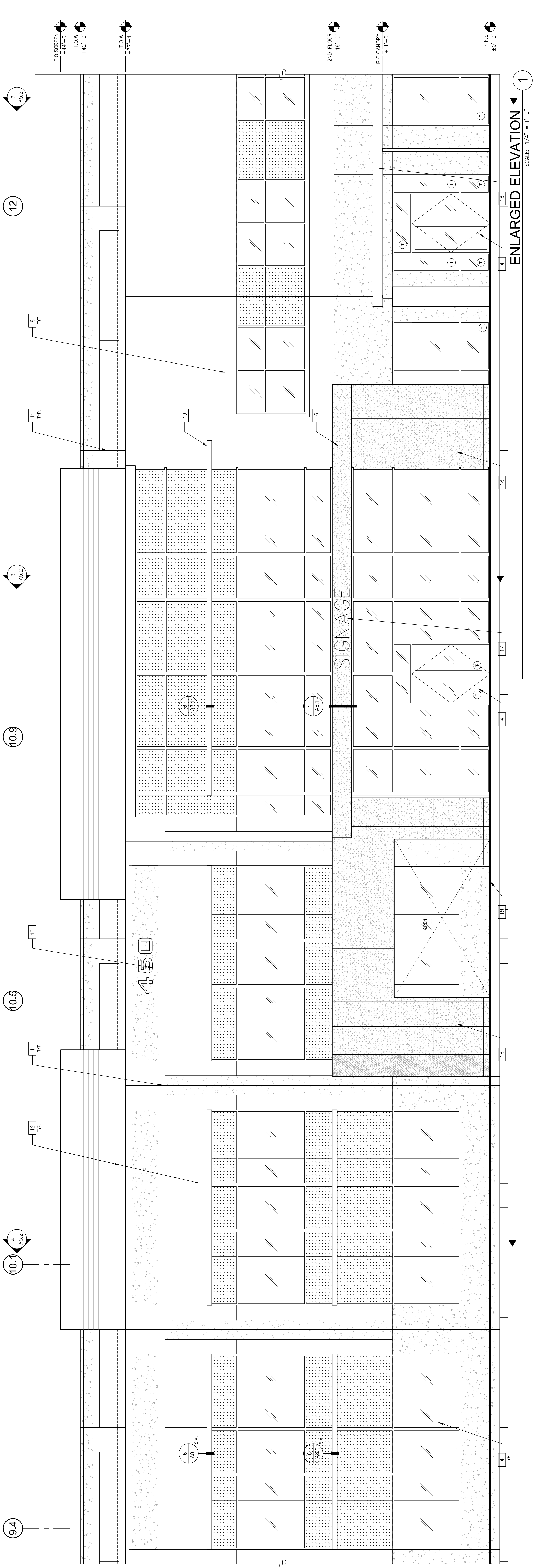
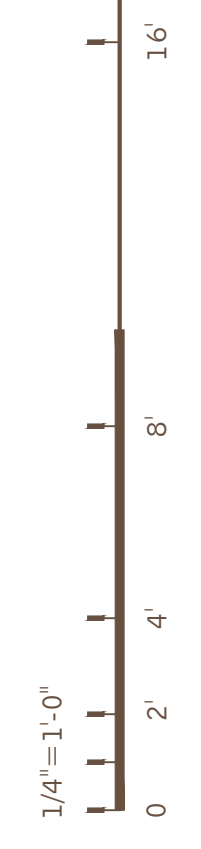
- VISION GLASS - KUPURA SUNSHADE (SINGLE GLAZING CLEARSTORY LITES ONLY)
- SPANDREL GLASS - ICED HIGH PERFORMANCE 3-0770 WARM GRAY.
- WALL PACK LIGHT FIXTURE REFER TO PHOTOGRAPHIC DRAWING

EXTERIOR ELEVATIONS - DETAILS



Manufacturing Facility, Oaks Business Park

EXTERIOR ELEVATION DETAILS



**ELEVATION NOTES**

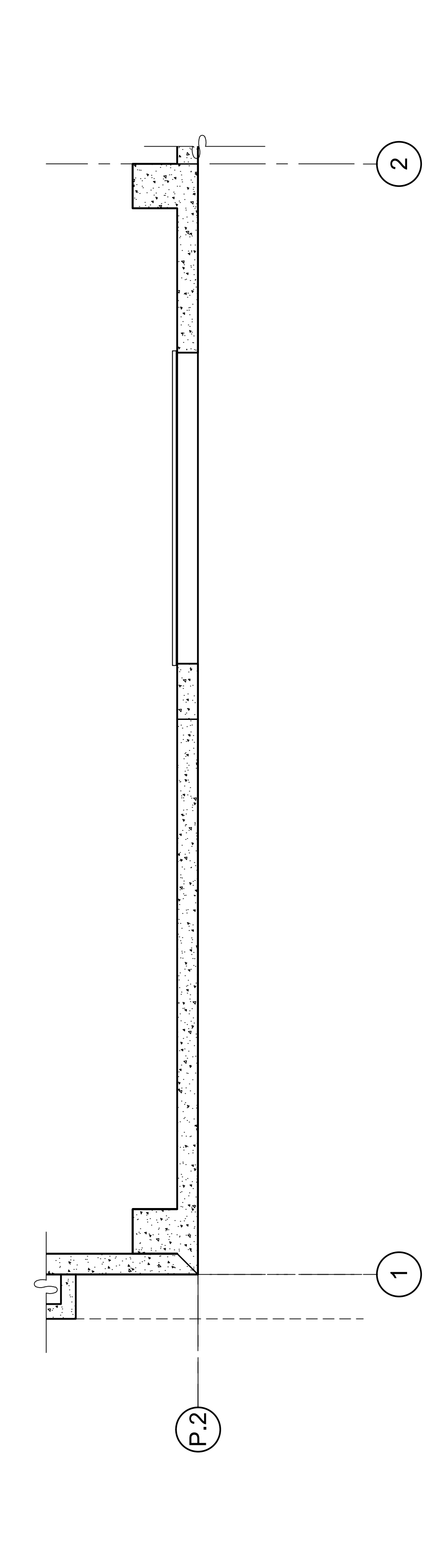
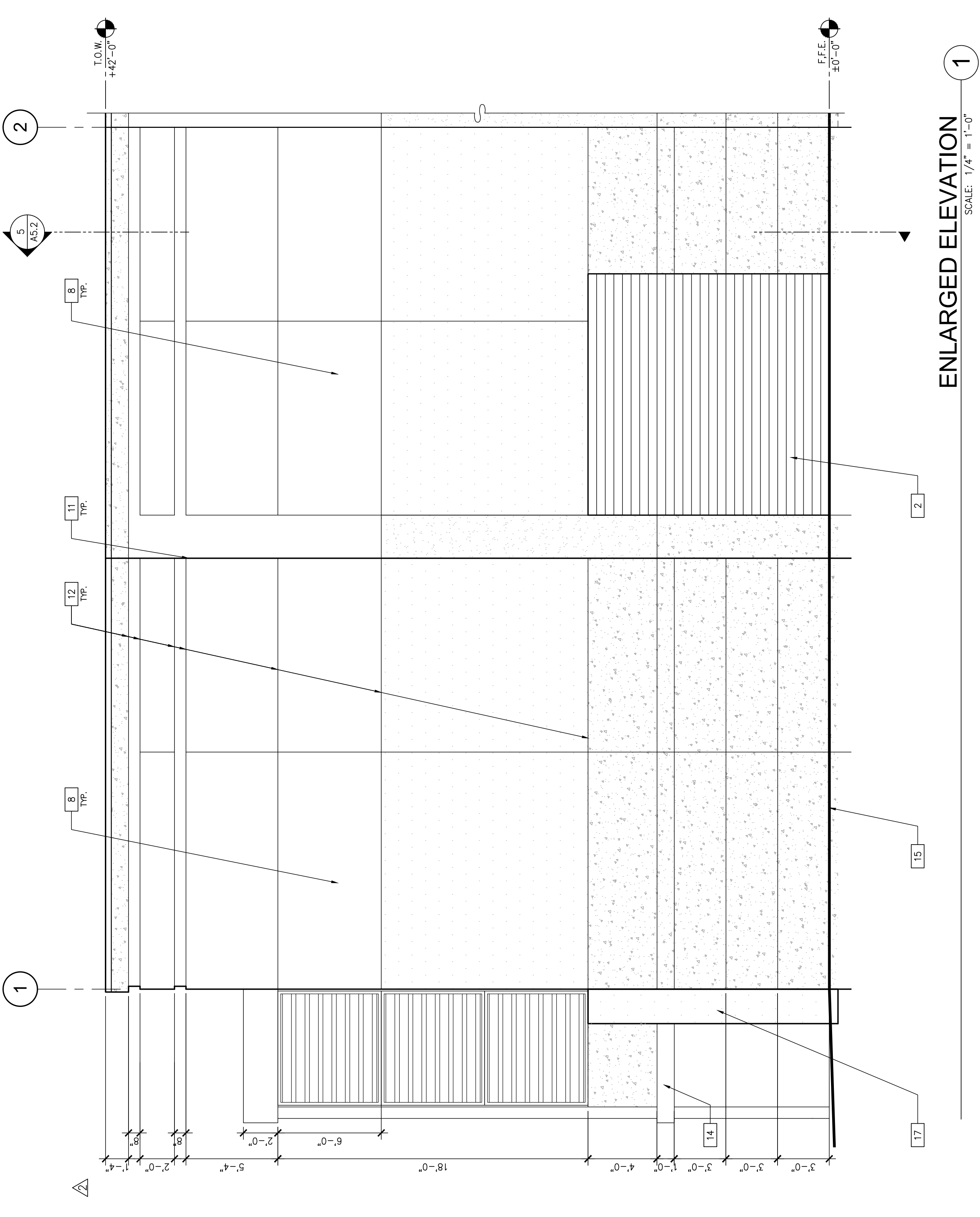
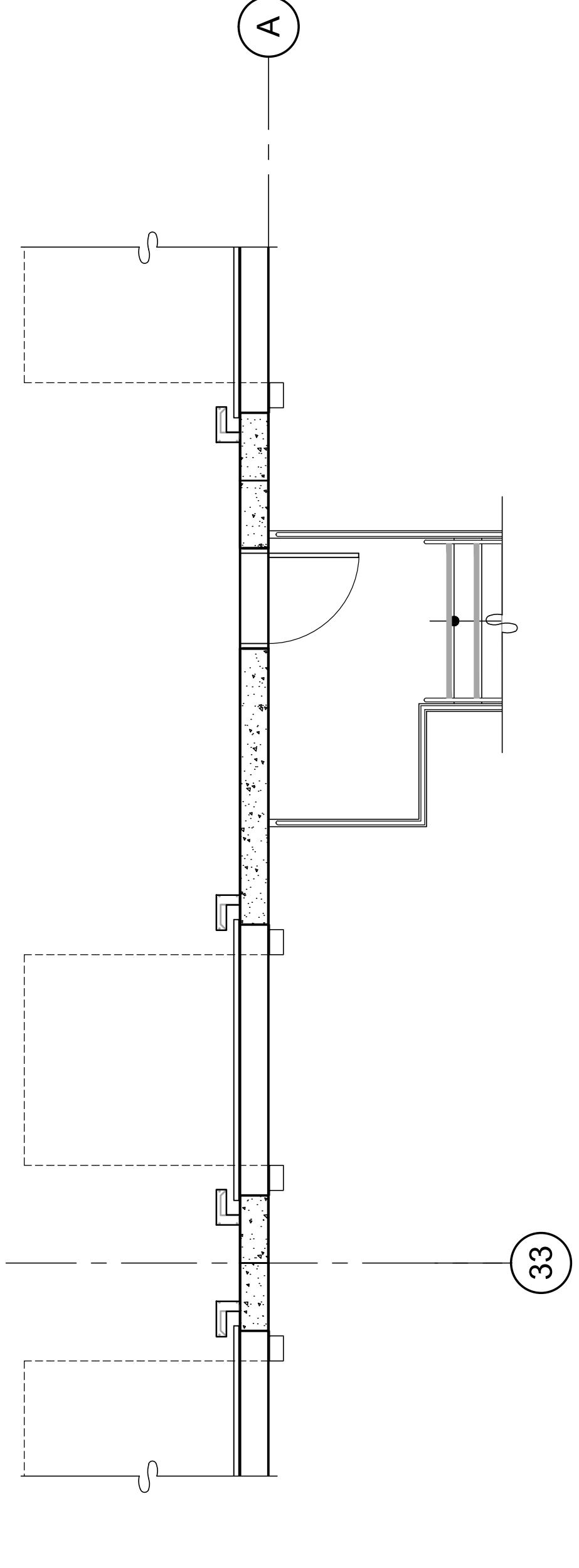
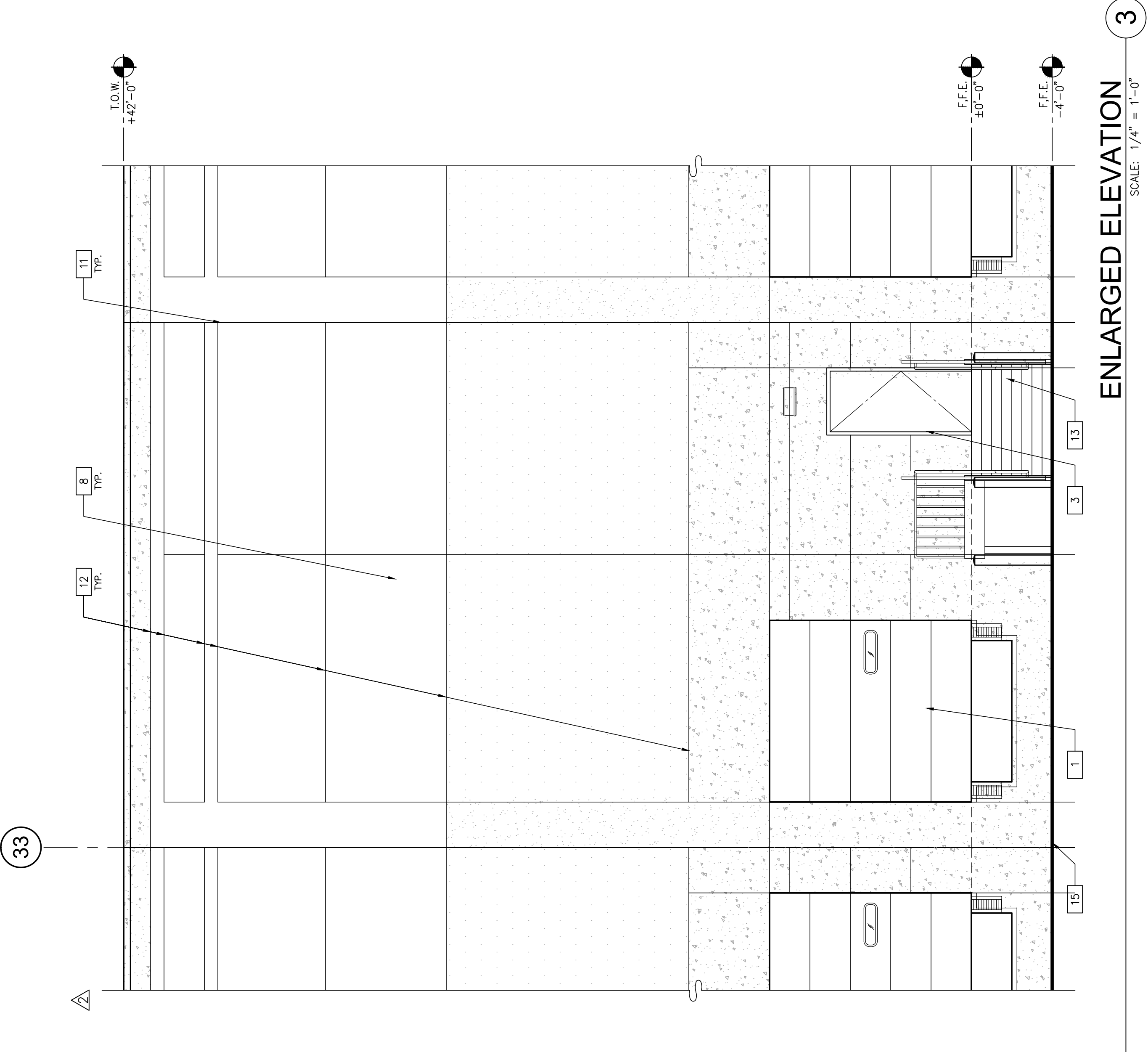
- 1 SECTIONAL DOCK HIGH DOOR, 9'-0" X 10'-0"
- 2 SECTIONAL GRADE LEVEL DOOR
- 3 HOLLOW METAL DOOR
- 4 ALUMINUM STOREFRONT SYSTEM
- 5 WALL LIGHT MOUNTED @ 30'-0" A.F.F.
- 6 ALUMINUM PARAPET CAP
- 7 ROOF LINE BEYOND
- 8 TILT-UP CONCRETE PANEL
- 9 INTERNAL ROOF DRAINS
- 10 BUILDING ADDRESS LOCATION TO COMPLY W/LOCAL CITY ORDINANCE
- 11 CONCRETE TILT-UP PANEL JOINT
- 12 3/4" V-REVEAL
- 13 METAL STAIR EGRESS
- 14 POP-UP FACADE ELEMENT
- 15 FINISH GRADE VARIES, SEE CIVIL DWGS.
- 16 METAL CAMPY
- 17 BUILDING SIGNAGE UNDER SEPARATE PERMIT.
- 18 COVERED ENTRY FEATURE WALL
- 19 EYEBROW SUNSHADE, SEE DETAIL 6/A8.1

**COLOR LEGEND**

- A BASE COLOR-SHERWIN WILLIAMS  
NEBULOUS WHITE / SW7083
- B SECONDARY COLOR-SHERWIN WILLIAMS  
GRAY MATTERS / SW7086
- C ACCENT COLOR - "MANUFACTURING  
FACILITY @ OAKS BUSINESS PARK" BLUE  
WANSKOT COLOR - SHERWIN WILLIAMS  
CITISCOPE / SW7087
- D VISION GLASS -  
PRG W/STACCOL AZURIA, SUNGUARD,  
(SINGLE GLAZING CLEARSTORY LITES ONLY)
- E SPANDREL GLASS -  
ICD HIGH PERFORMANCE 3-0770 WARM GRAY.  
WALL PACK LIGHT FIXTURE,  
REFER TO PHOTOMETRIC DRAWING

**LEGEND**

- VISION GLASS -  
PRG W/STACCOL AZURIA, SUNGUARD,  
(SINGLE GLAZING CLEARSTORY LITES ONLY)
- SPANDREL GLASS -  
ICD HIGH PERFORMANCE 3-0770 WARM GRAY.  
WALL PACK LIGHT FIXTURE,  
REFER TO PHOTOMETRIC DRAWING



**ELEVATION NOTES**

- 1 SECTIONAL DOCK HIGH DOOR, 9'-0" x 10'-0"
- 2 SECTIONAL GRADE LEVEL DOOR
- 3 HOLLOW METAL DOOR
- 4 ALUMINUM STOREFRONT SYSTEM
- 5 WALL LIGHT MOUNTED @ 30'-0" A.F.F.
- 6 ALUMINUM PARAPET CAP
- 7 ROOF LINE BEYOND
- 8 TILT-UP CONCRETE PANEL
- 9 INTERNAL ROOF DRAINS
- 10 BUILDING ADDRESS LOCATION TO COMPLY W/LOCAL CITY ORDINANCE
- 11 CONCRETE TILT-UP PANEL JOINT

**LEGEND**

- VISION GLASS - PPC VISTACOL AZURIA, SUNGUARD, (SINGLE GLAZING CLERESTORY LITES ONLY)
- SKANSKE GLASS IC3 HIGH PERFORMANCE 3-0770 WARM GRAY
- WALL PACK LIGHT FIXTURE REFER TO PHOTOMETRIC DRAWING

**COLOR LEGEND**

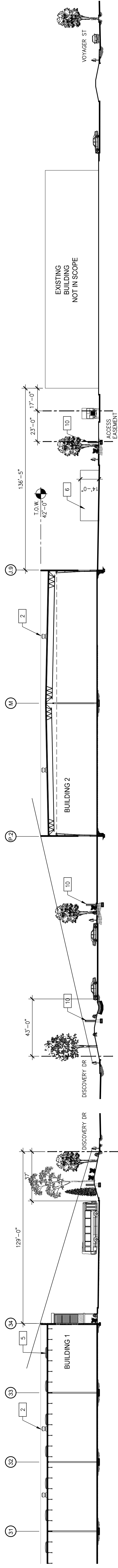
- A BASE COLOR-SHERWIN WILLIAMS NEBULOUS WHITE / SW705
- B SECONDARY COLOR-SHERWIN WILLIAMS GRAY MATTERS / SW706
- C ACCENT COLOR - "MANUFACTURING FACILITY @ OAKS BUSINESS PARK" BLUE
- D WANSLOT COLOR - SHERWIN WILLIAMS CITYSCAPE / SW767

- 12 3/4" V-REVEAL
- 13 METAL STAIR EGRESS
- 14 POP-UP FACADE ELEMENT
- 15 FINISH GRADE VARIES, SEE DWG DWGS.
- 16 METAL CANOPY
- 17 BUILDING SIGNAGE UNDER SEPARATE PERMIT.
- 18 COVERED ENTRY FEATURE WALL
- 19 EYEBROW SUNSHADE, SEE DETAIL 6/A&1

**EXTERIOR ELEVATION DETAILS**

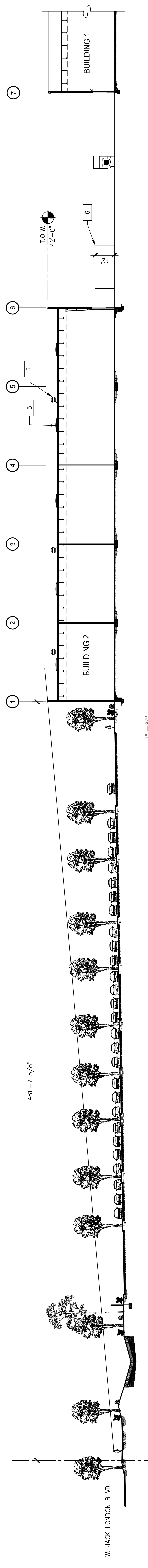


Manufacturing Facility, Oaks Business Park

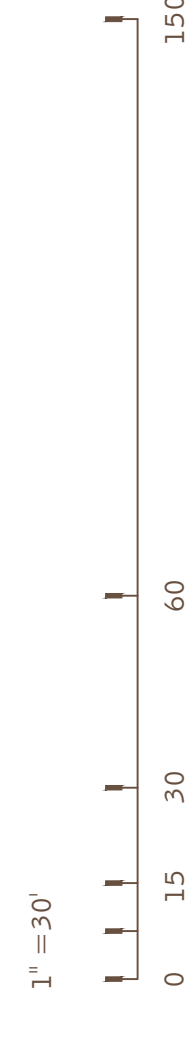


**DISCOVERY DRIVE - SITE SECTION**  
SCALE: 1"=50'-0"

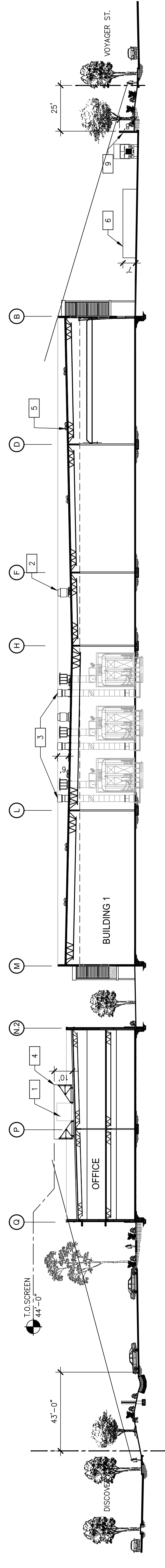
**DISCOVERY RD. & VOYAGER ST. - SITE SECTION**  
SCALE: 1"=30'-0"



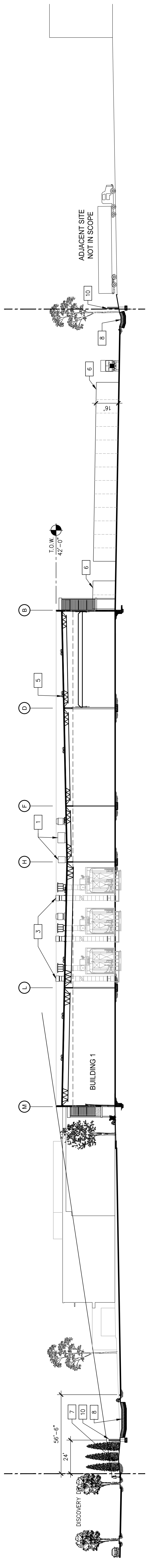
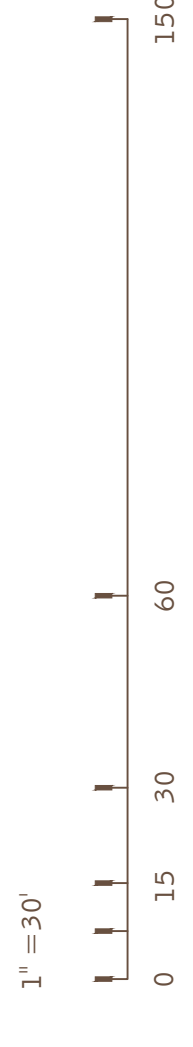
**DISCOVERY RD. & VOYAGER ST. - SITE SECTION**  
SCALE: 1"=30'-0"



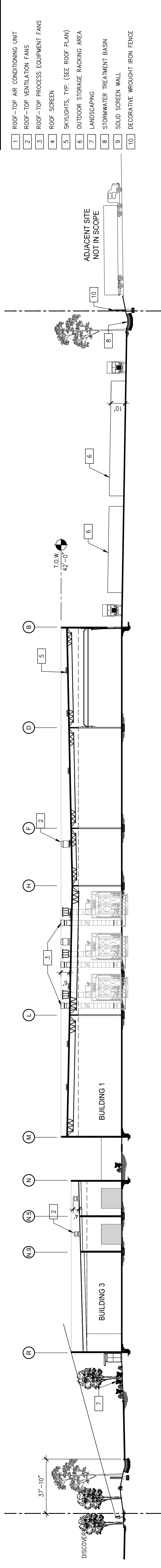
**W. JACK LONDON BLVD - SITE SECTION**  
SCALE: 1"=30'-0"



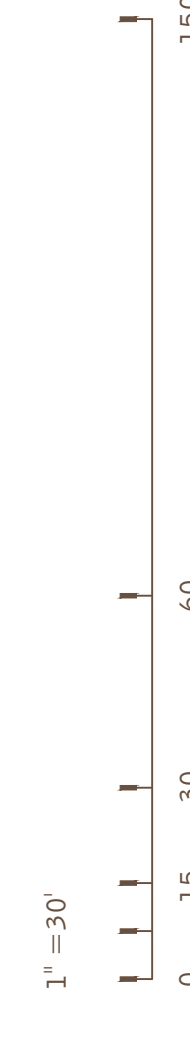
**DISCOVERY RD. & VOYAGER ST. - SITE SECTION**  
SCALE: 1"=30'-0"



**DISCOVERY RD. & ADJACENT - SITE SECTION**  
SCALE: 1"=30'-0"



**DISCOVERY RD. & ADJACENT - SITE SECTION**  
SCALE: 1"=30'-0"

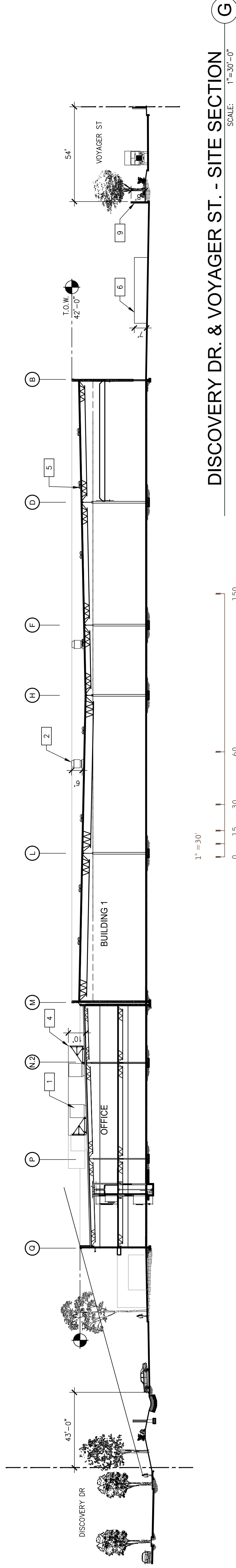


**SECTION NOTES**

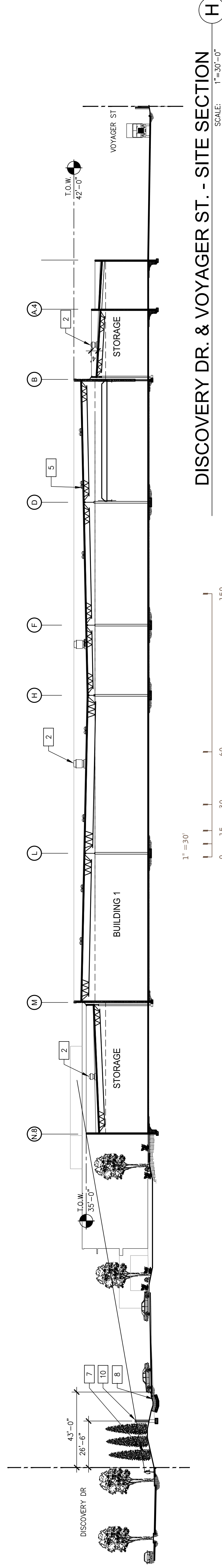
- 1 ROOF-TOP AIR CONDITIONING UNIT
- 2 ROOF-TOP VENTILATION FANS
- 3 ROOF-TOP PROCESS EQUIPMENT FANS
- 4 ROOF SCREEN
- 5 SKYLIGHTS, TYP. (SEE ROOF PLAN)
- 6 OUTDOOR STORAGE RACKING AREA
- 7 LANDSCAPING
- 8 STORMWATER TREATMENT BASIN
- 9 SOLID SCREEN WALL
- 10 DECORATIVE WROUGHT IRON FENCE

**SITE SECTIONS**

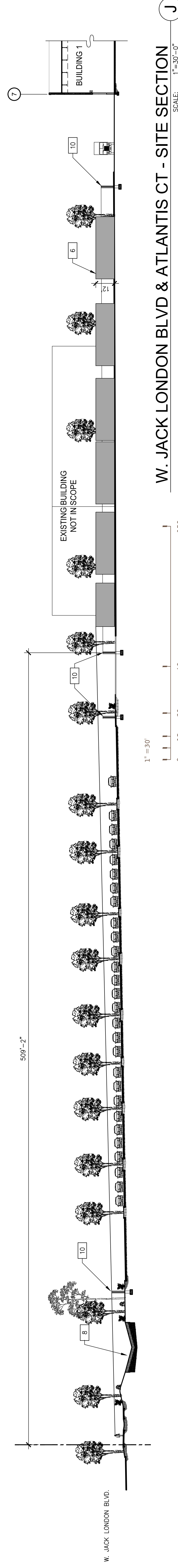
Manufacturing Facility, Oaks Business Park



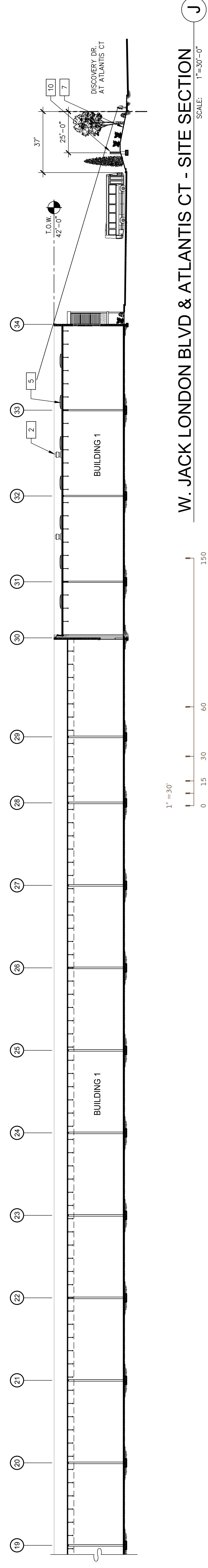
DISCOVERY DR. & VOYAGER ST. - SITE SECTION  
SCALE: 1"=30'-0"



DISCOVERY DR. & VOYAGER ST. - SITE SECTION  
SCALE: 1"=30'-0"



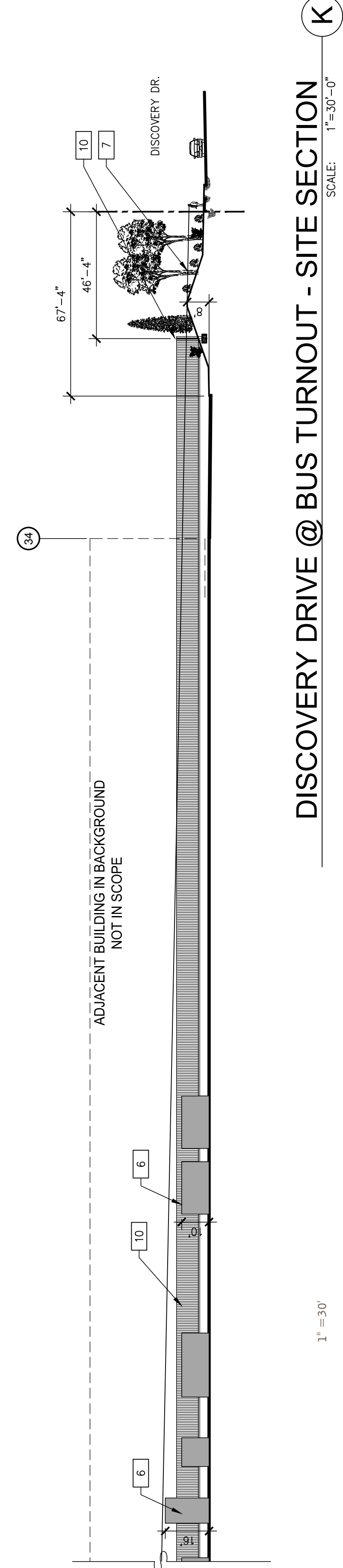
W. JACK LONDON BLVD & ATLANTIS CT - SITE SECTION  
SCALE: 1"=30'-0"



W. JACK LONDON BLVD & ATLANTIS CT - SITE SECTION  
SCALE: 1"=30'-0"

**SECTION NOTES**

- 1 ROOF-TOP AIR CONDITIONING UNIT
- 2 ROOF-TOP VENTILATION FANS
- 3 ROOF-TOP PROCESS EQUIPMENT FANS
- 4 ROOF SCREEN
- 5 SKYLIGHTS, TYP. (SEE ROOF PLAN)
- 6 OUTDOOR STORAGE RACKING AREA
- 7 LANDSCAPING
- 8 STORMWATER TREATMENT BASIN
- 9 SOLID SCREEN WALL
- 10 DECORATIVE WROUGHT IRON FENCE

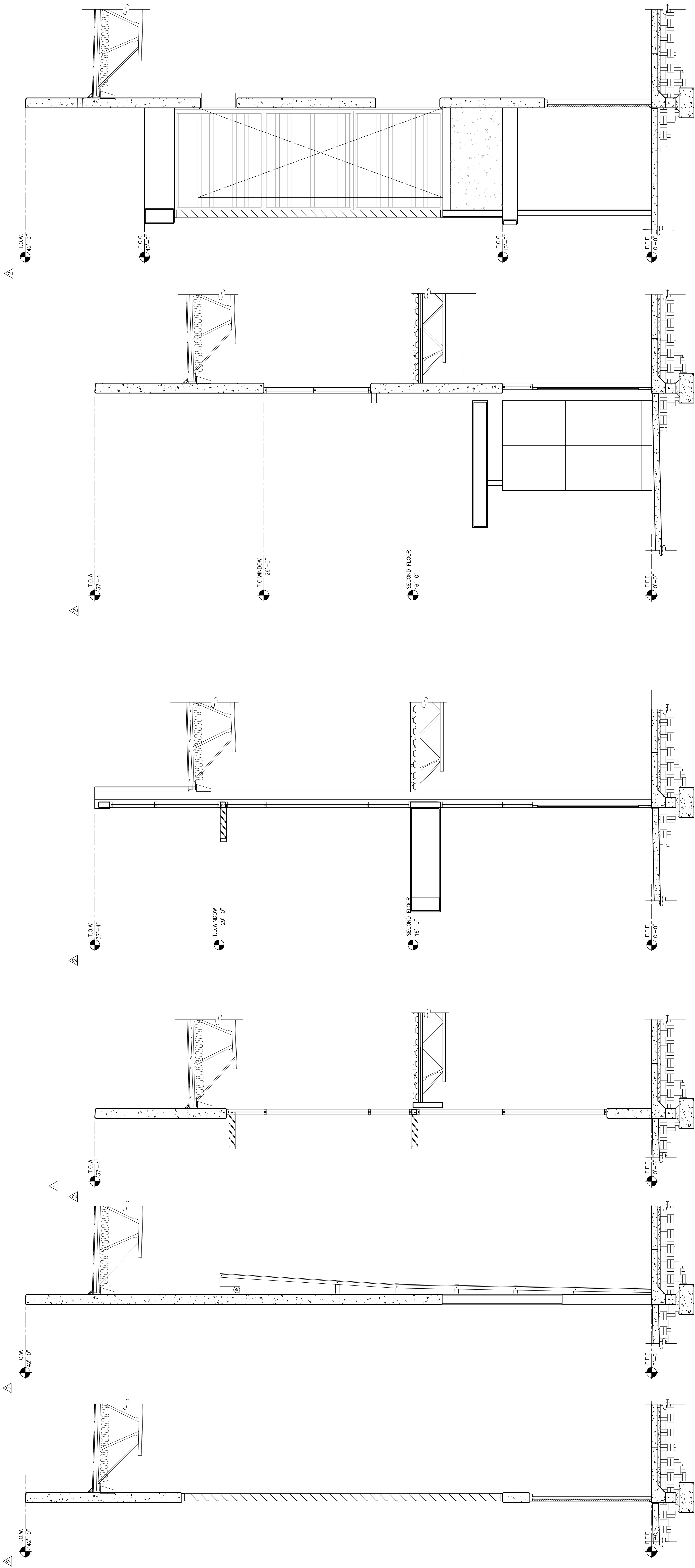


DISCOVERY DRIVE @ BUS TURNOUT - SITE SECTION  
SCALE: 1"=30'-0"

**SITE SECTIONS**

Manufacturing Facility, Oaks Business Park





WALL SECTION  
SCALE: 3/8"=1'-0"

WALL SECTION  
SCALE: 3/8"=1'-0"

WALL SECTION  
SCALE: 3/8"=1'-0"

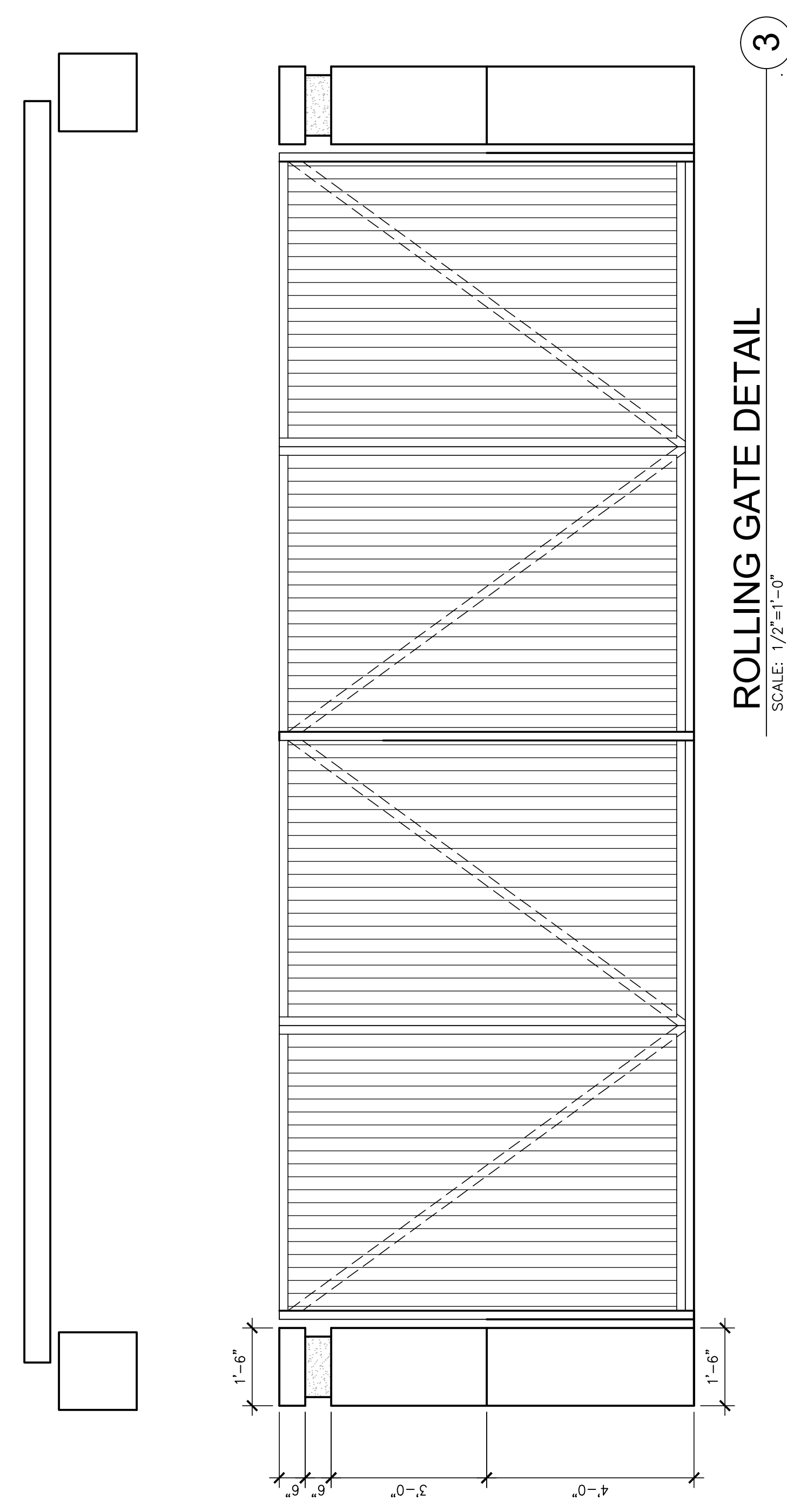
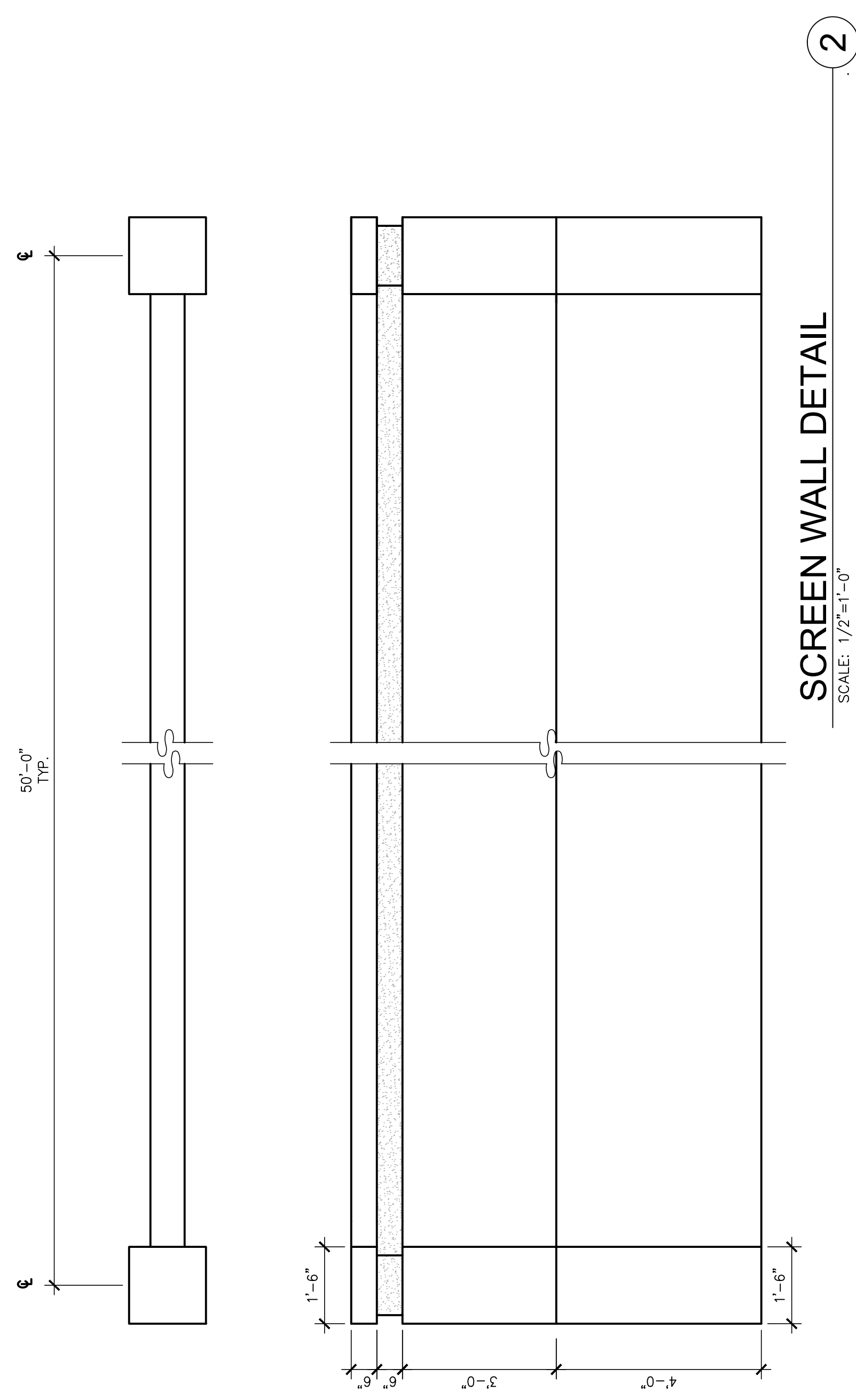
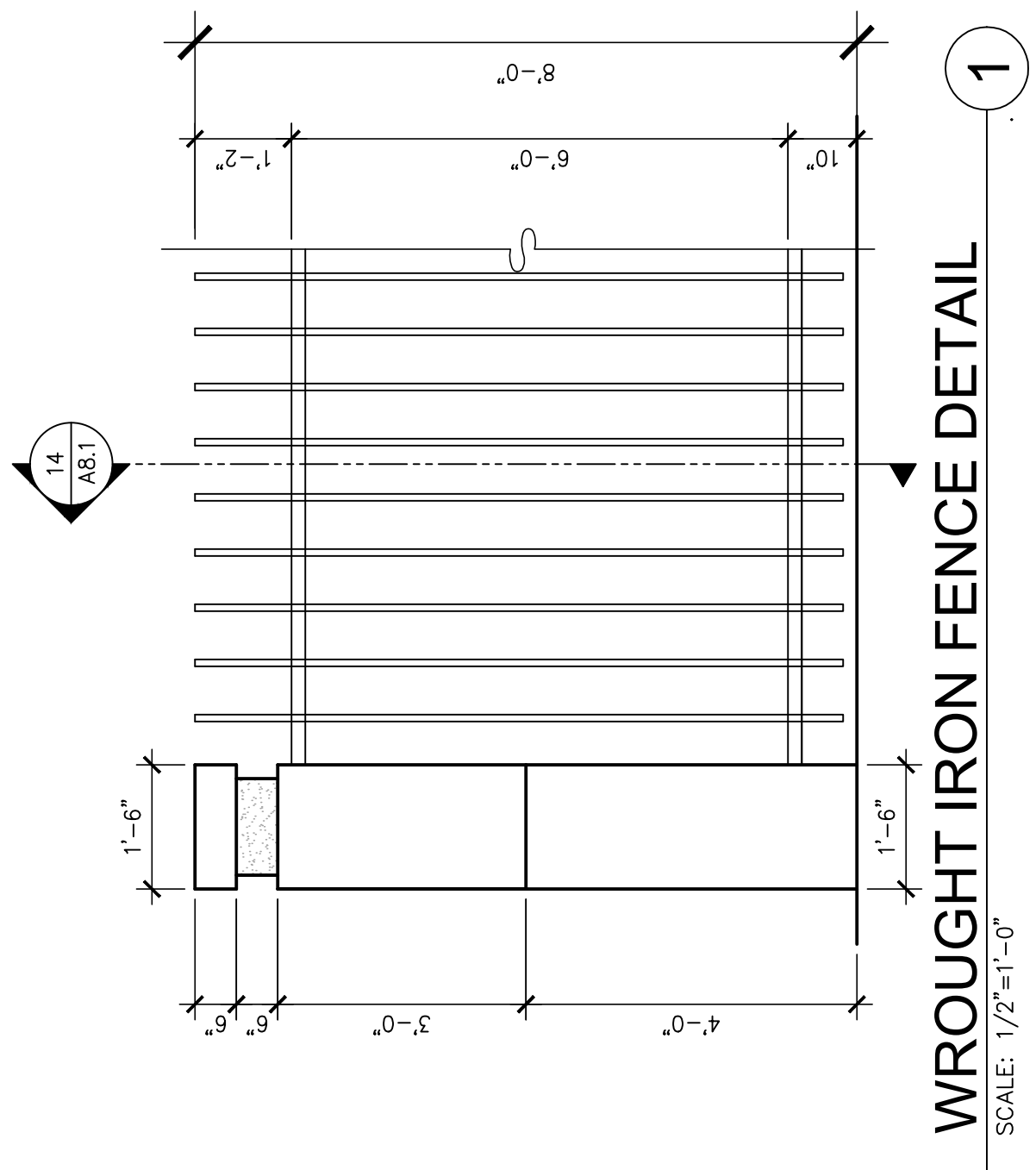
WALL SECTION  
SCALE: 3/8"=1'-0"

WALL SECTION  
SCALE: 3/8"=1'-0"

WALL SECTION  
SCALE: 3/8"=1'-0"

SCHEMATIC WALL SECTIONS

Manufacturing Facility, Oaks Business Park



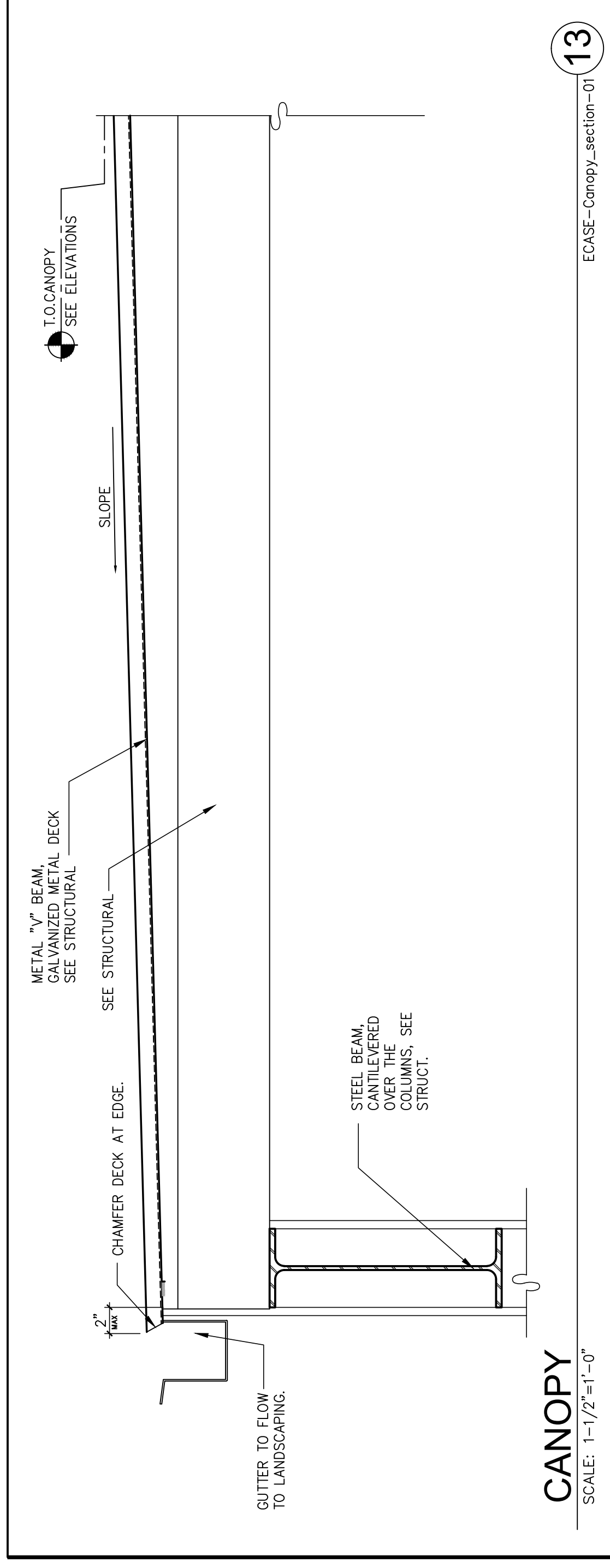
DETAILS

Manufacturing Facility, Oaks Business Park

**WARE MALCOMB**

SNR14-0029-00  
 01.28.2014

SHEET  
**A6.1**

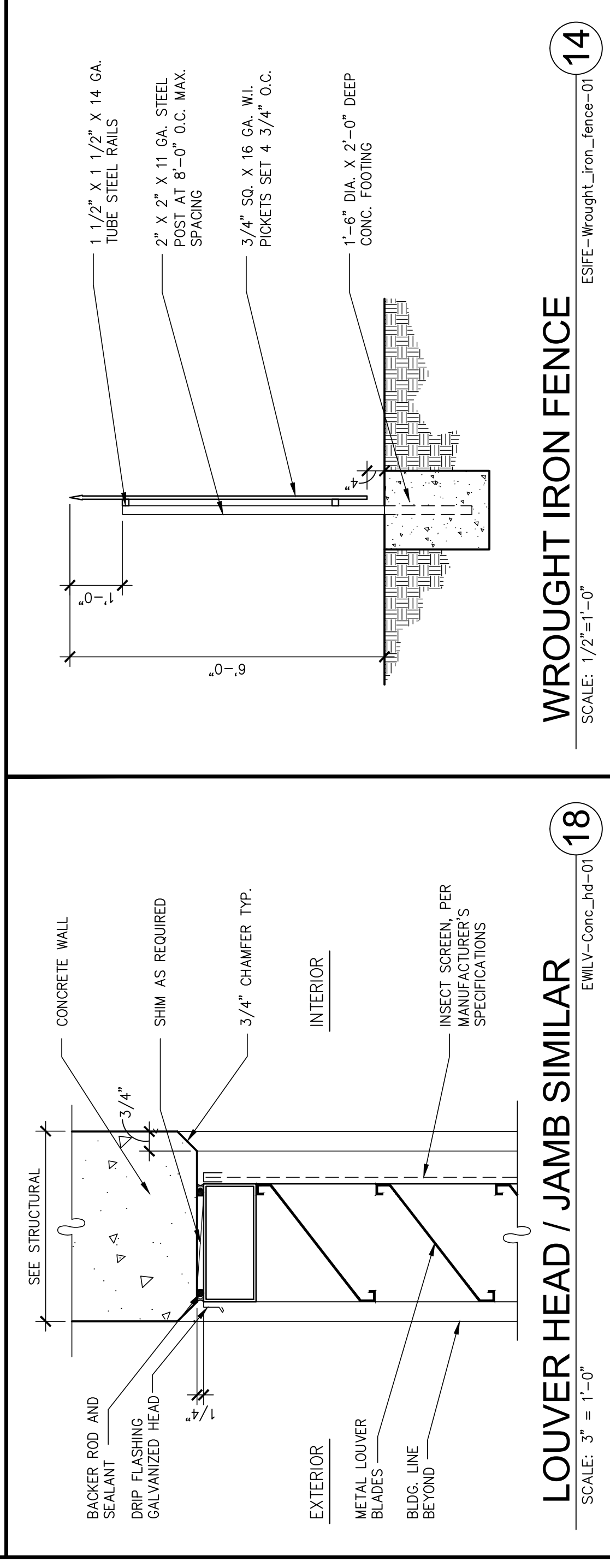


**CANOPY**

SCALE: 1-1/2"=1'-0"

EWLV-Comp\_C-JHD-01

13

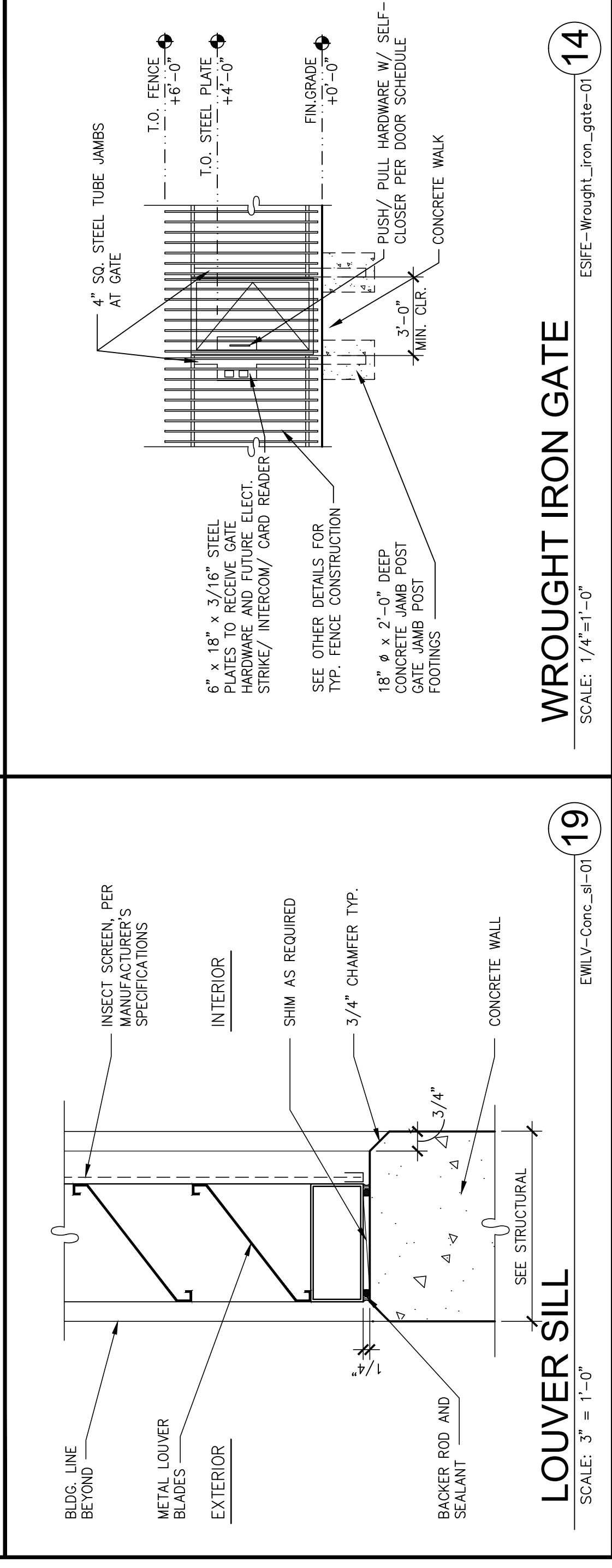


**LOUVER HEAD / JAMB SIMILAR**

SCALE: 3"=1'-0"

EWLV-Comp\_JHD-01

18

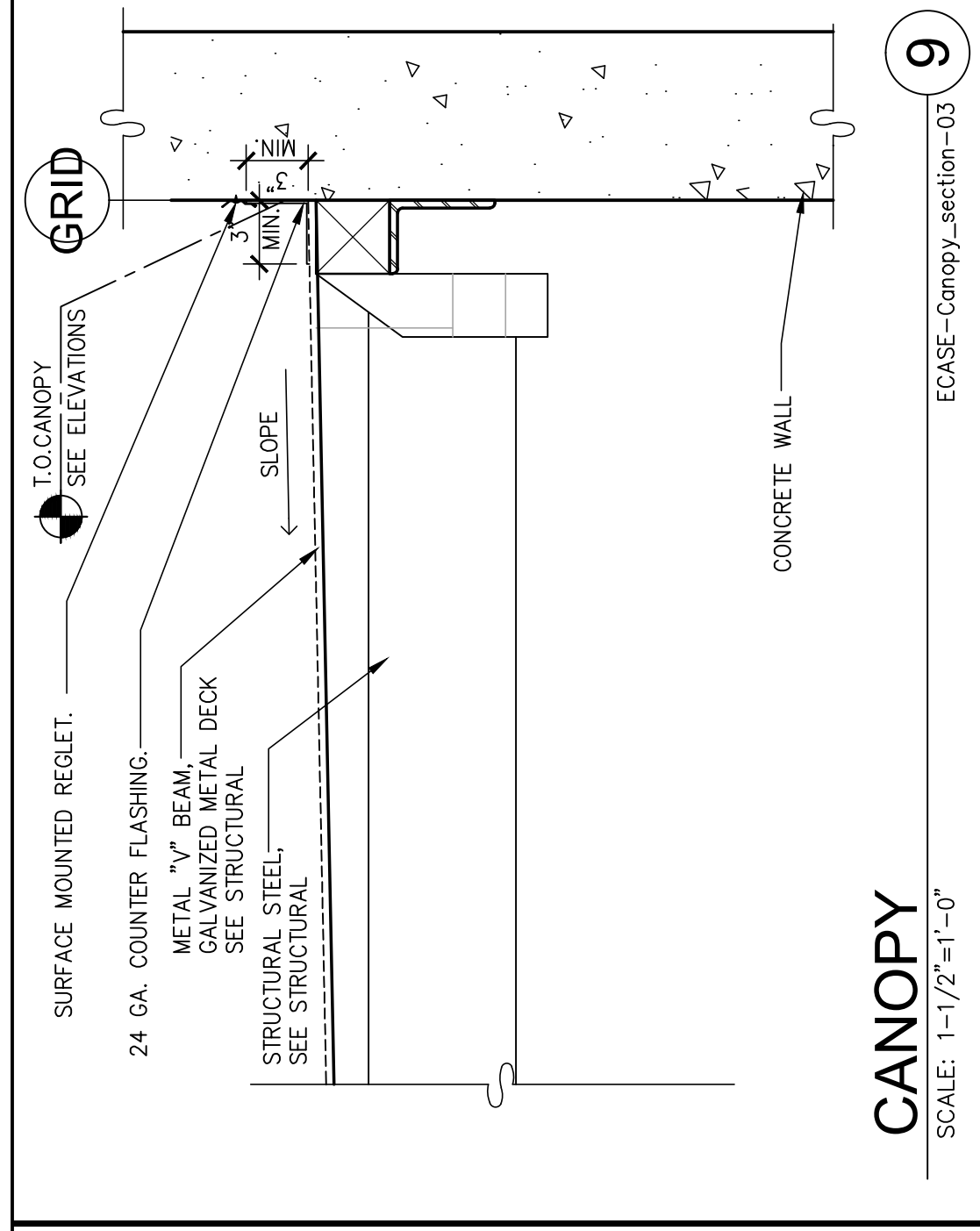


**LOUVER SILL**

SCALE: 3"=1'-0"

EWLV-Comp\_JHD-01

19

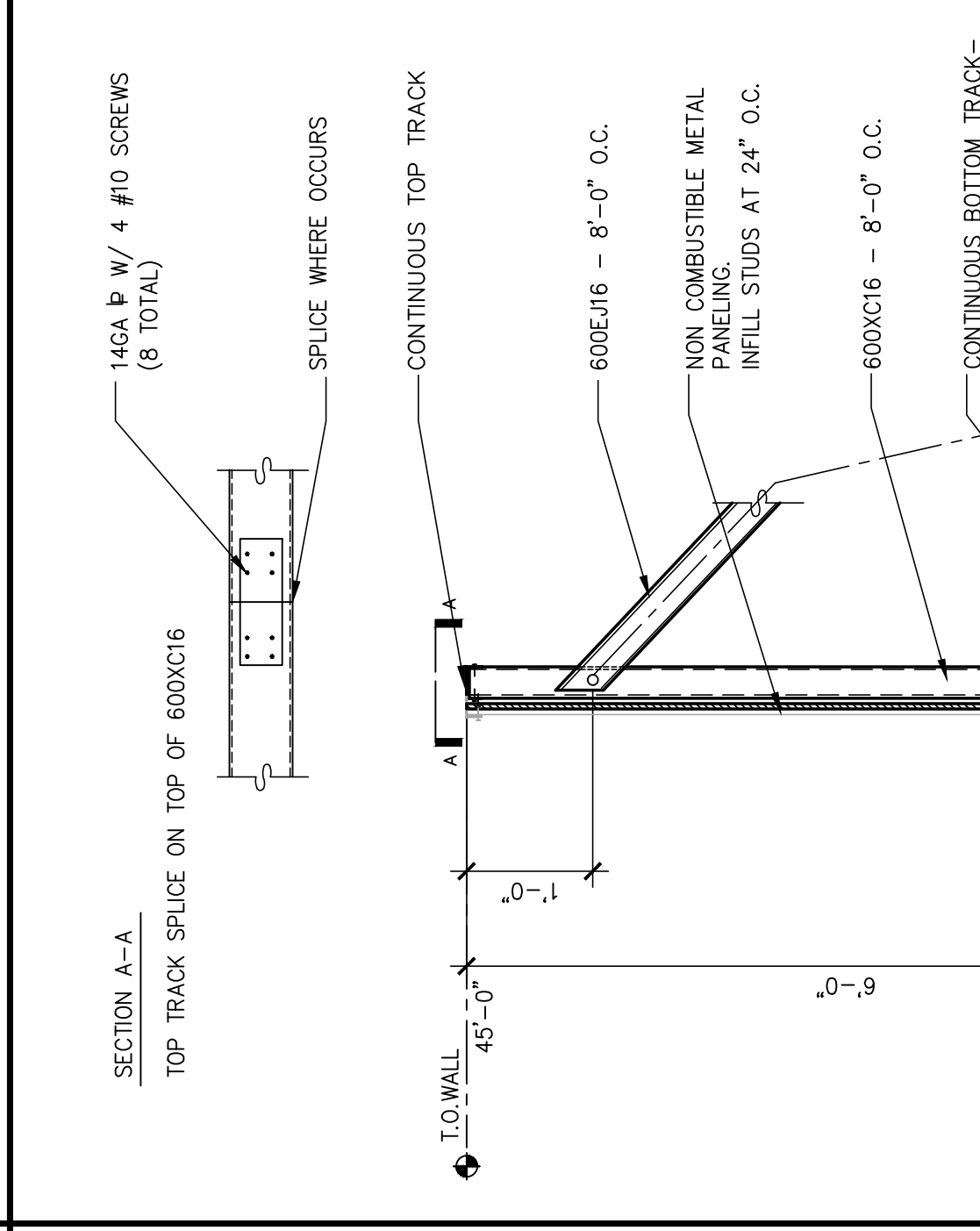


**CANOPY**

SCALE: 1-1/2"=1'-0"

EWLV-Comp\_section-03

9

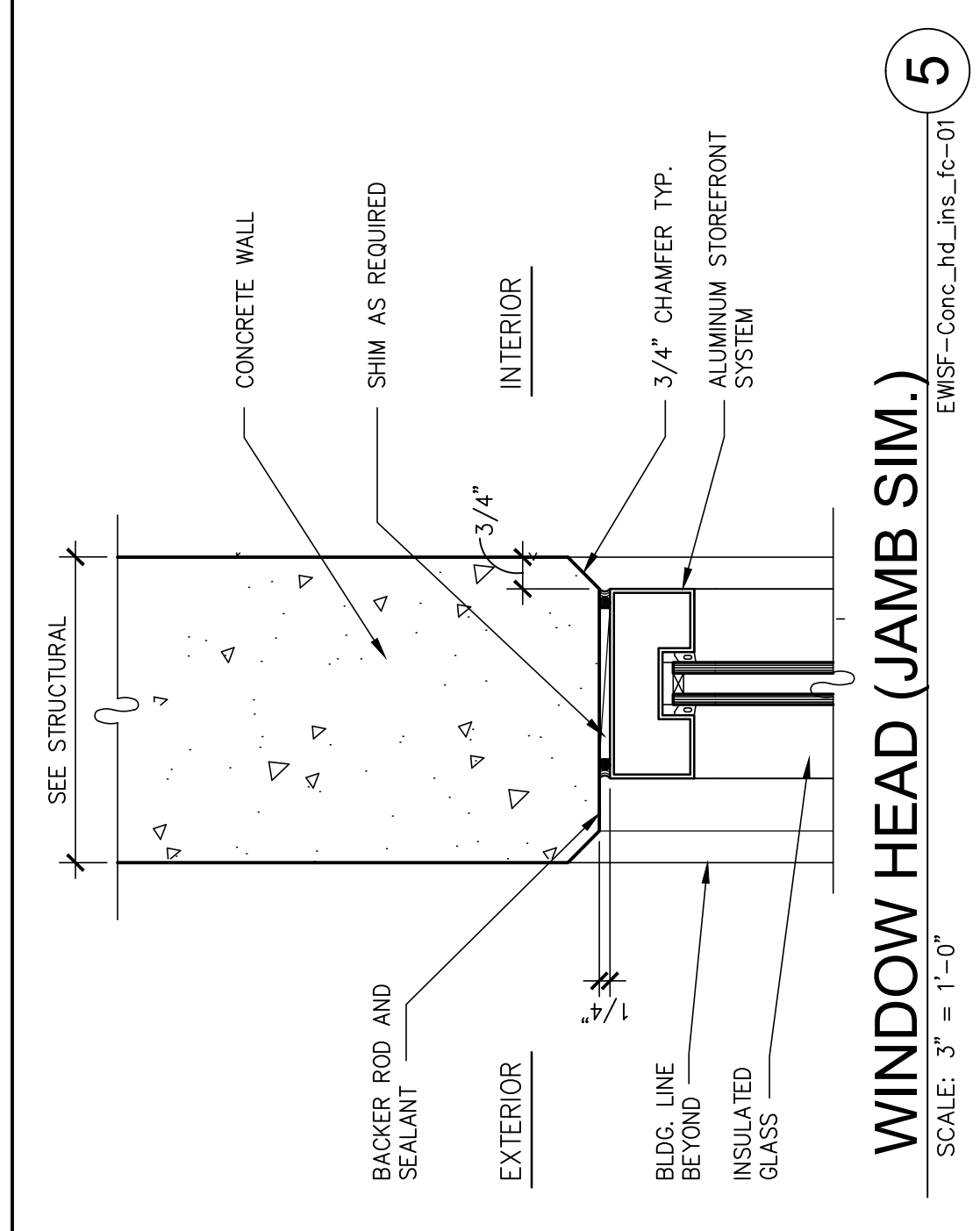


**SCREEN WALL**

SCALE: 3/4"=1'-0"

EFVSC-MD-18-01

11

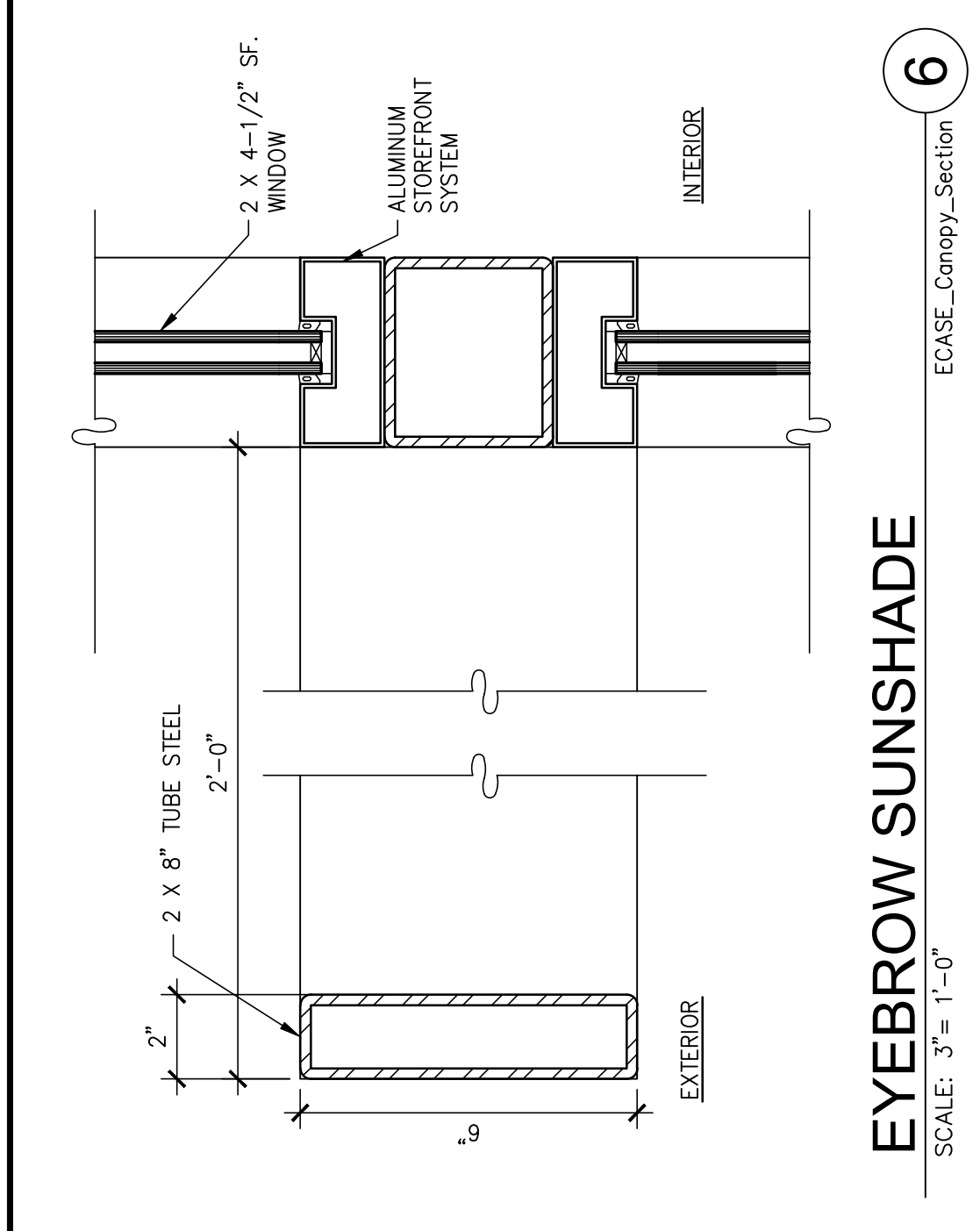


**WINDOW HEAD (JAMB SIM.)**

SCALE: 3"=1'-0"

EWVSC-Comp\_HJ-10-01

5

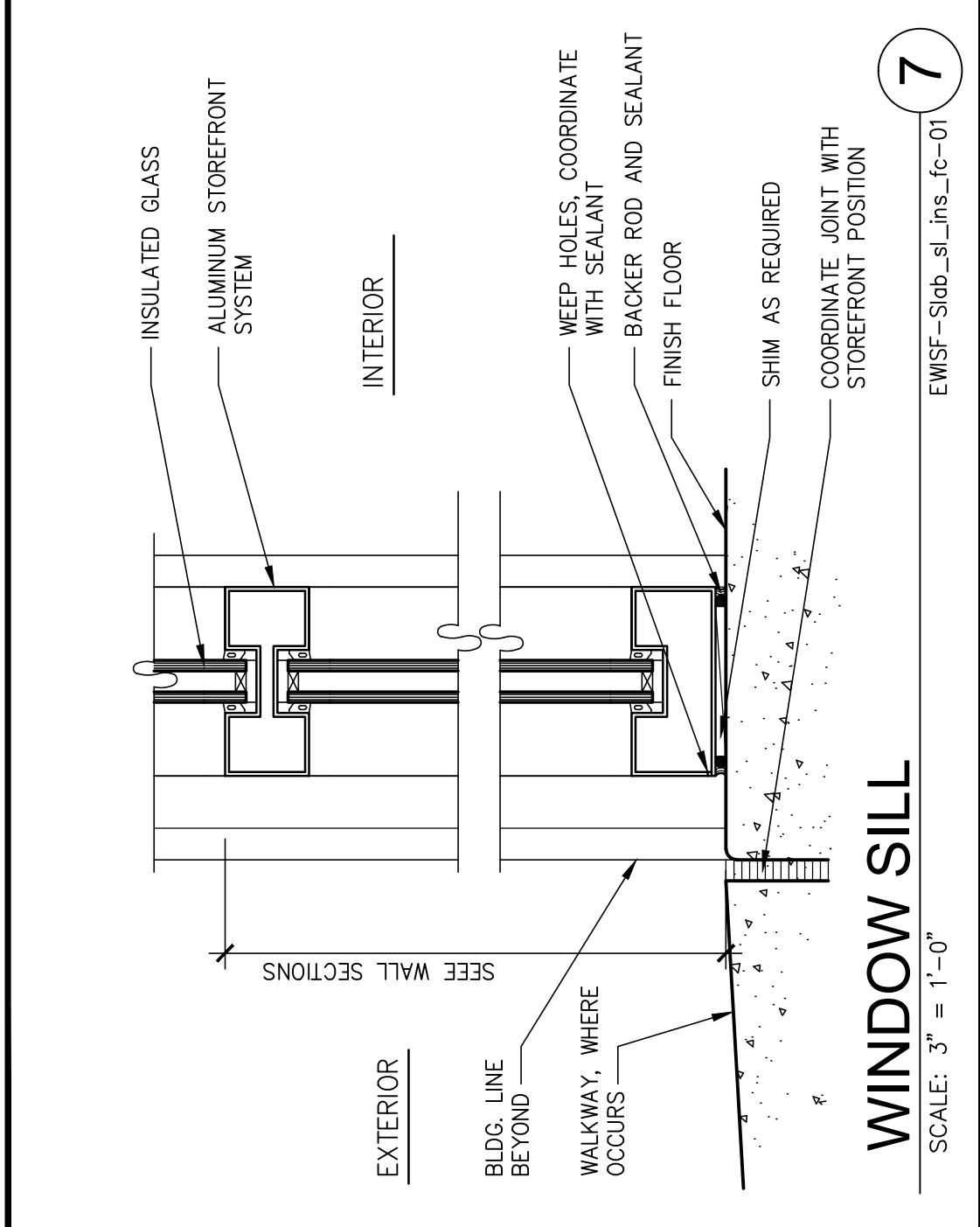


**EYEBROW SUNSHADE**

SCALE: 3"=1'-0"

EWVSC-Comp\_Section

6

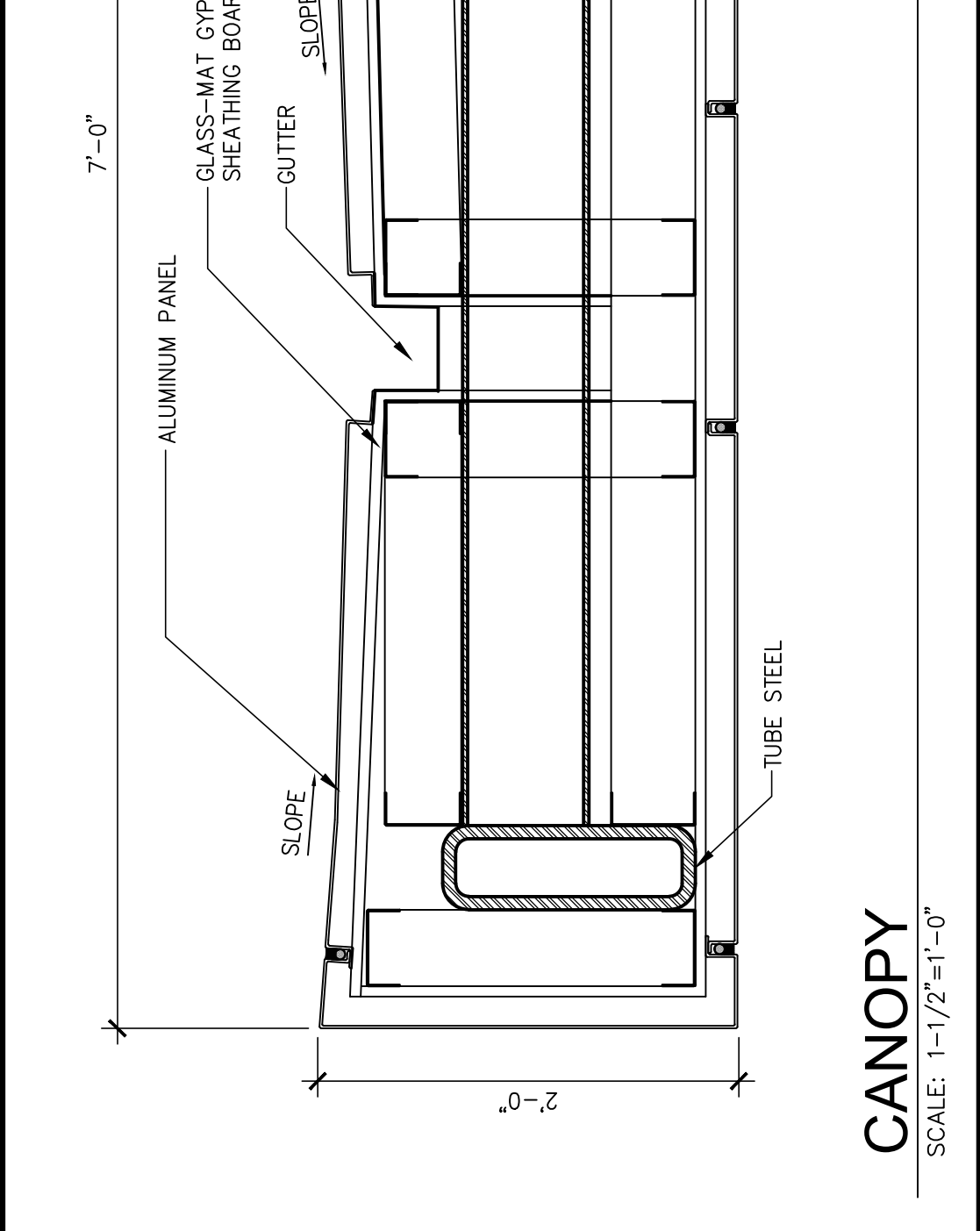


**WINDOW SILL**

SCALE: 3"=1'-0"

EWVSC-Sub\_SJ-10-01

7

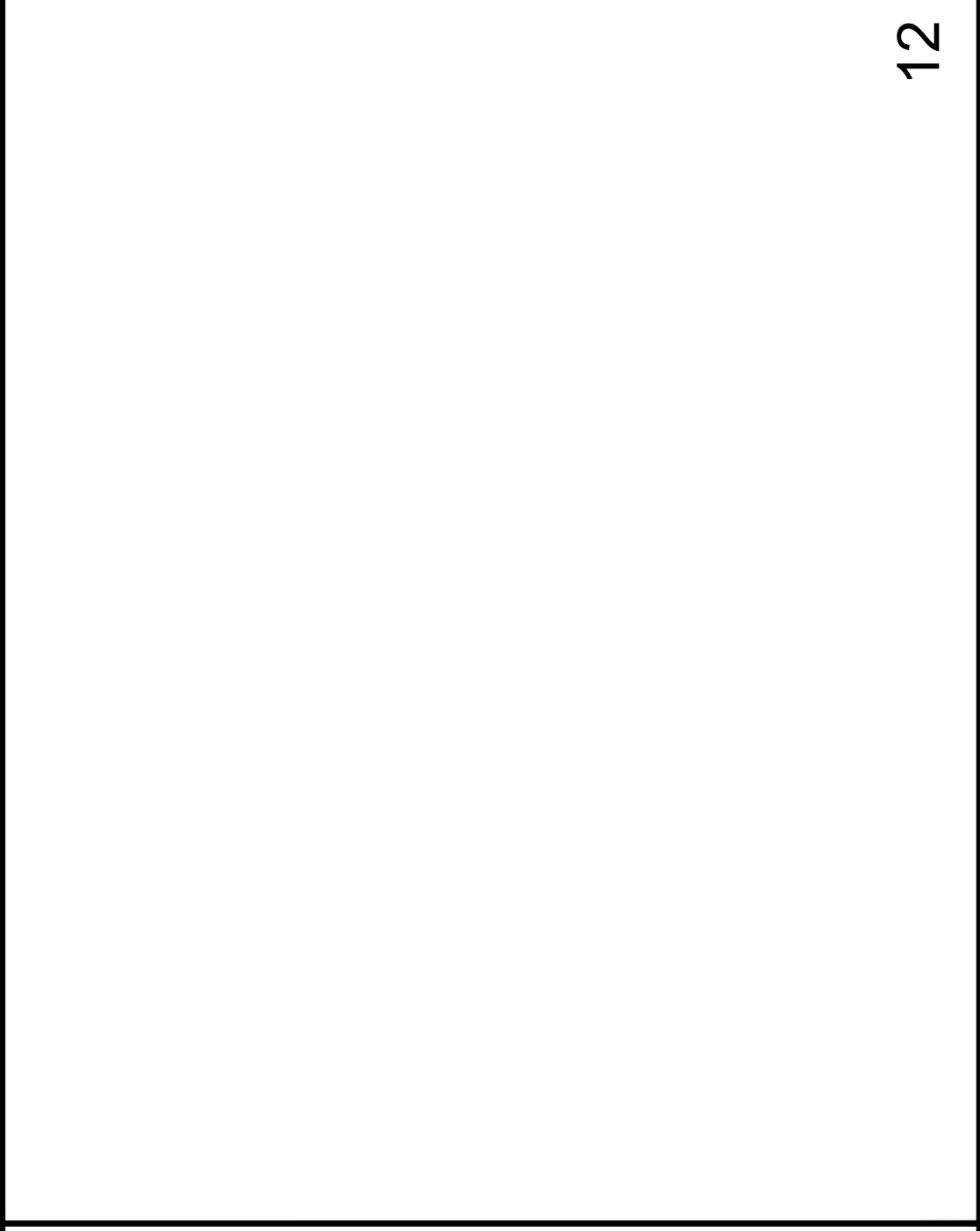


**CANOPY**

SCALE: 1-1/2"=1'-0"

EWVSC-Comp\_Section-01

4

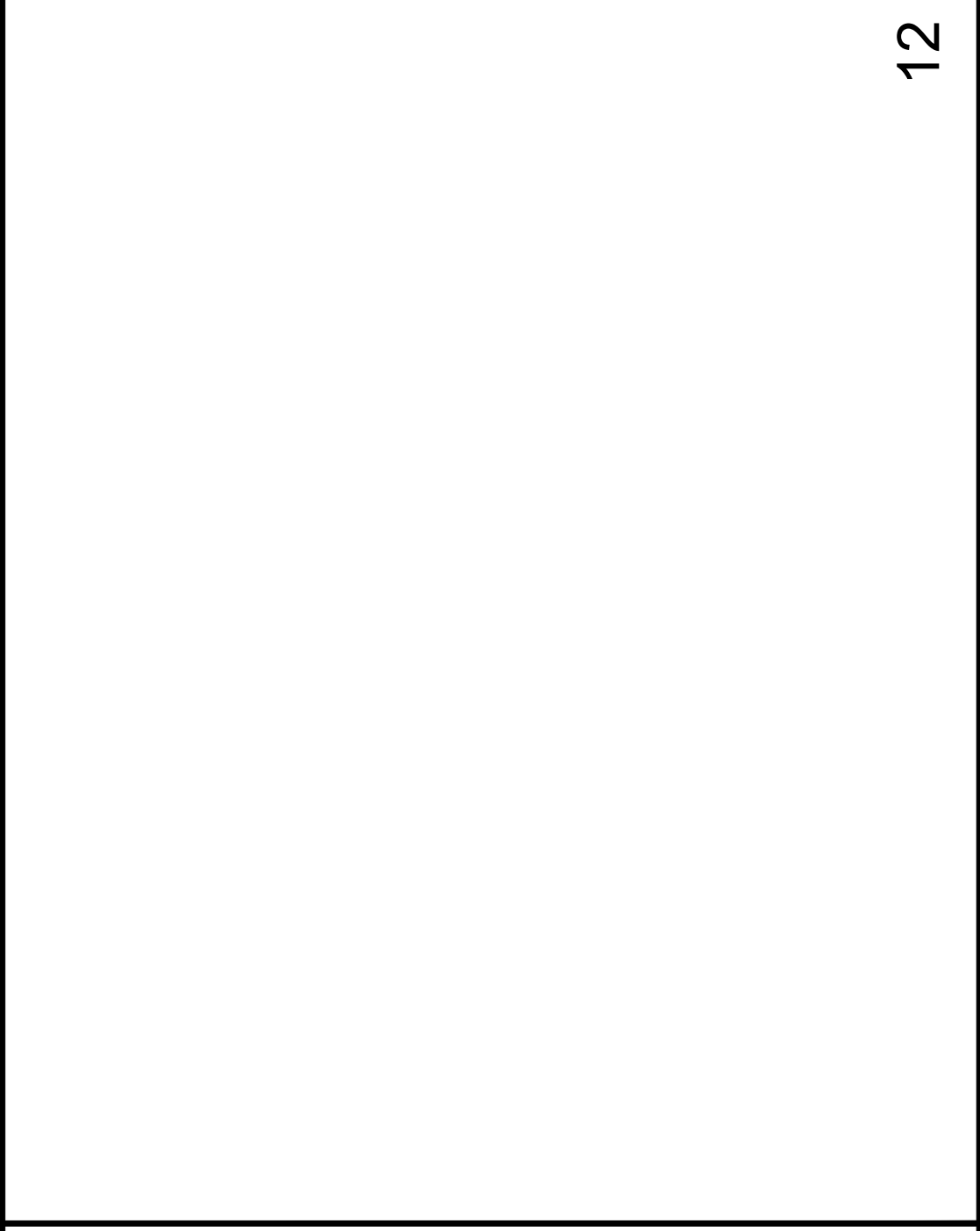


**WROUGHT IRON GATE**

SCALE: 1/4"=1'-0"

ESFE-Wrought\_Iron\_gate-01

14



**BIKE RACK**

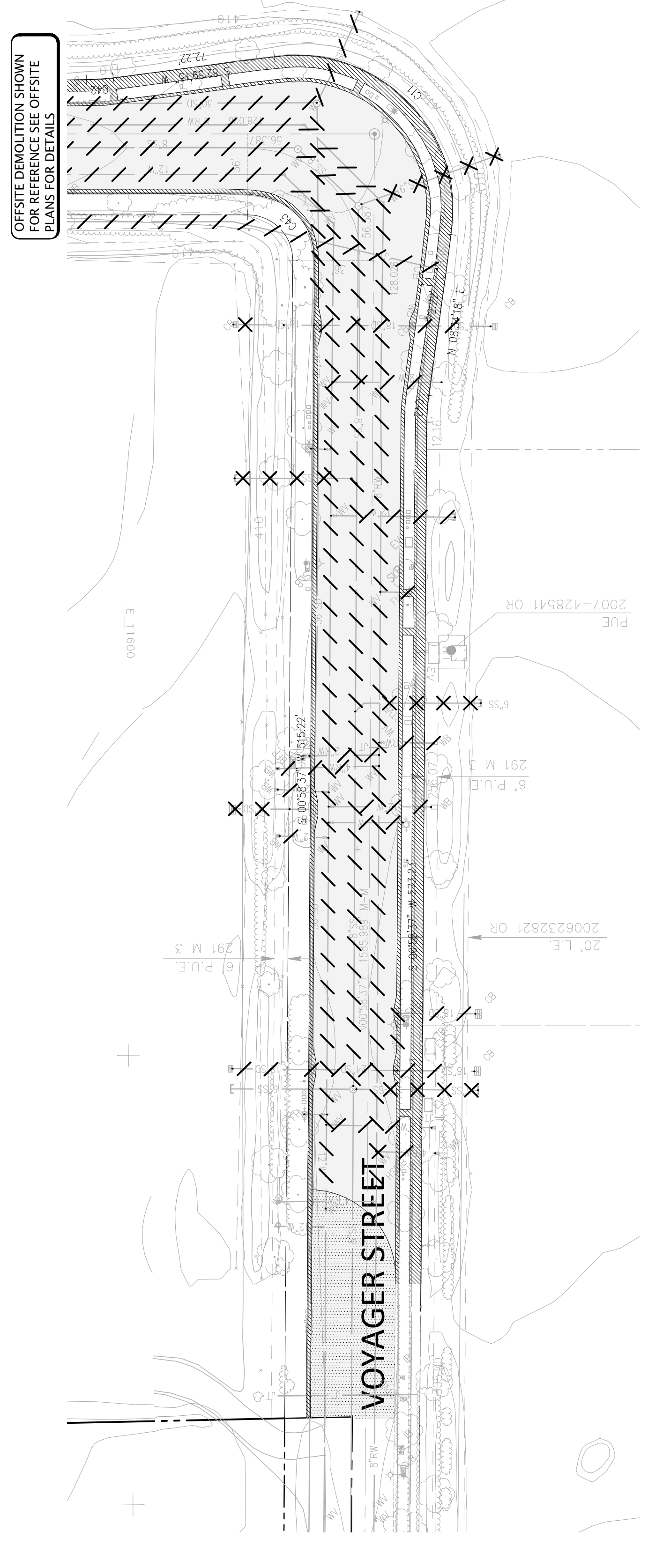
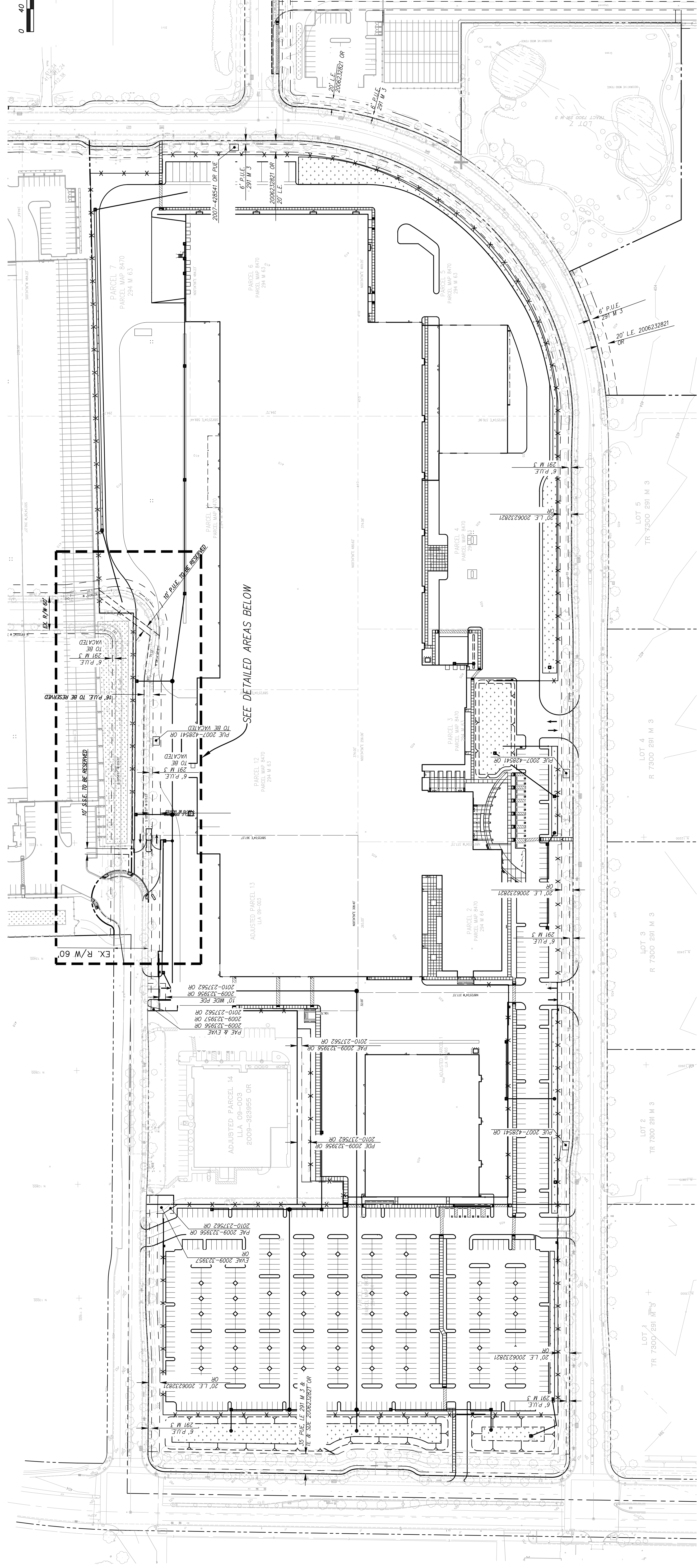
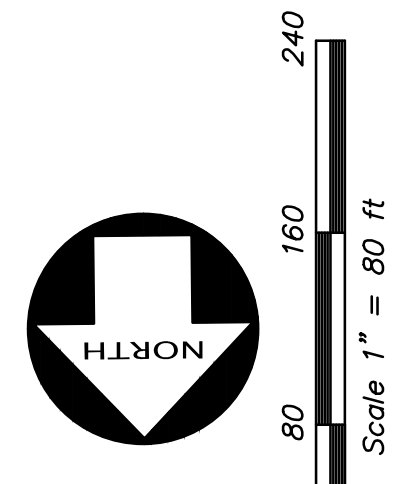
SCALE: 3/8"=1'-0"

ESMI-Bike\_rack-01

16

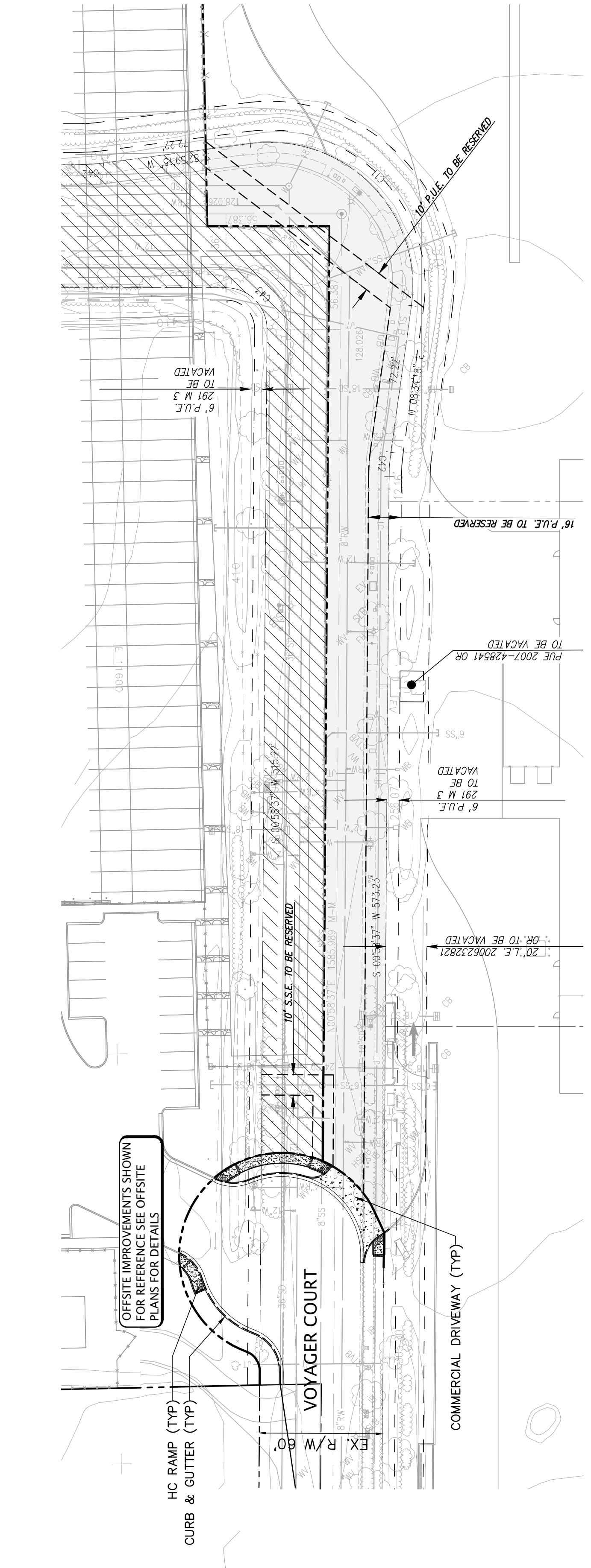
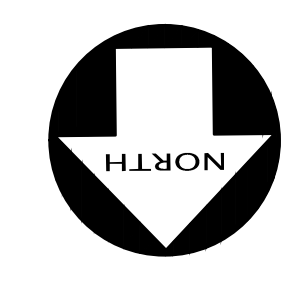


NO.	REVISION	BY	NO.



**VOYAGER STREET DEMOLITION**

- REMOVE EXISTING AC PAVEMENT
- REMOVE EXISTING CONCRETE
- ASPHALT PAVEMENT, 2" GRIND AND MIN 2" THICK OVERLAY
- UNDERGROUND UTILITIES TO BE REMOVED
- UNDERGROUND UTILITIES ABANDONED IN PLACE



**VOYAGER STREET IMPROVEMENTS & EASEMENTS**

- RIGHT OF WAY TO BE VACATED ON PROPOSED DEVELOPMENT
- RIGHT OF WAY TO BE VACATED BY OTHERS





# PRELIMINARY GRADING & DRAINAGE PLAN

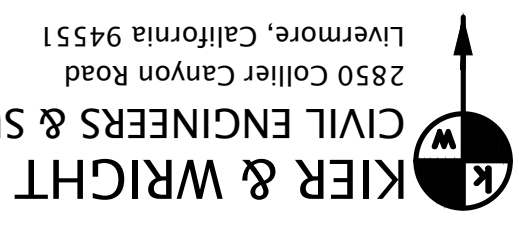
## OF

### MANUFACTURING FACILITY, OAKS BUSINESS PARK

#### FOR

##### WARE MALCOMB

CALIFORNIA

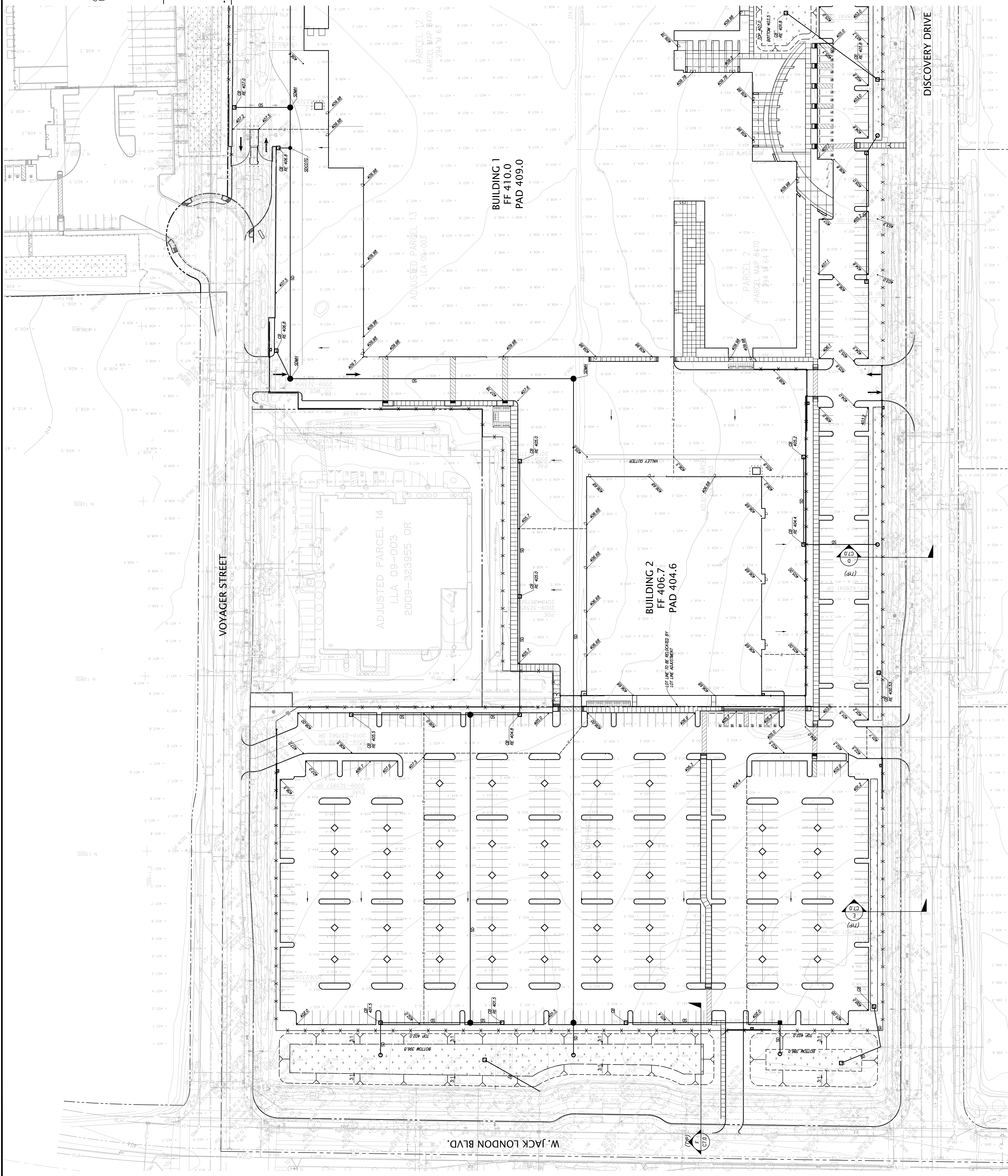


**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
2850 Collier Canyon Road  
Livermore, California 94551  
Phone (925) 245-8788  
Fax (925) 245-8796

NO.	REVISION	BY	NO.



- LEGEND**
- AREA DRAIN
  - STORM DRAIN CATCH BASIN
  - STORM DRAIN JUNCTION BOX
  - STORM DRAIN MANHOLE
  - FLOW LINE
  - PAVEMENT
  - PVI
  - RM ELEVATION
  - SPOT ELEVATION
  - STORM DRAIN LINE
  - TOP OF CURB
  - TC



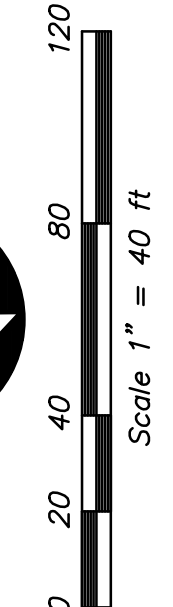


PRELIMINARY GRADING & DRAINAGE PLAN  
OF  
MANUFACTURING FACILITY, OAKS BUSINESS PARK  
FOR  
WARE MALCOMB

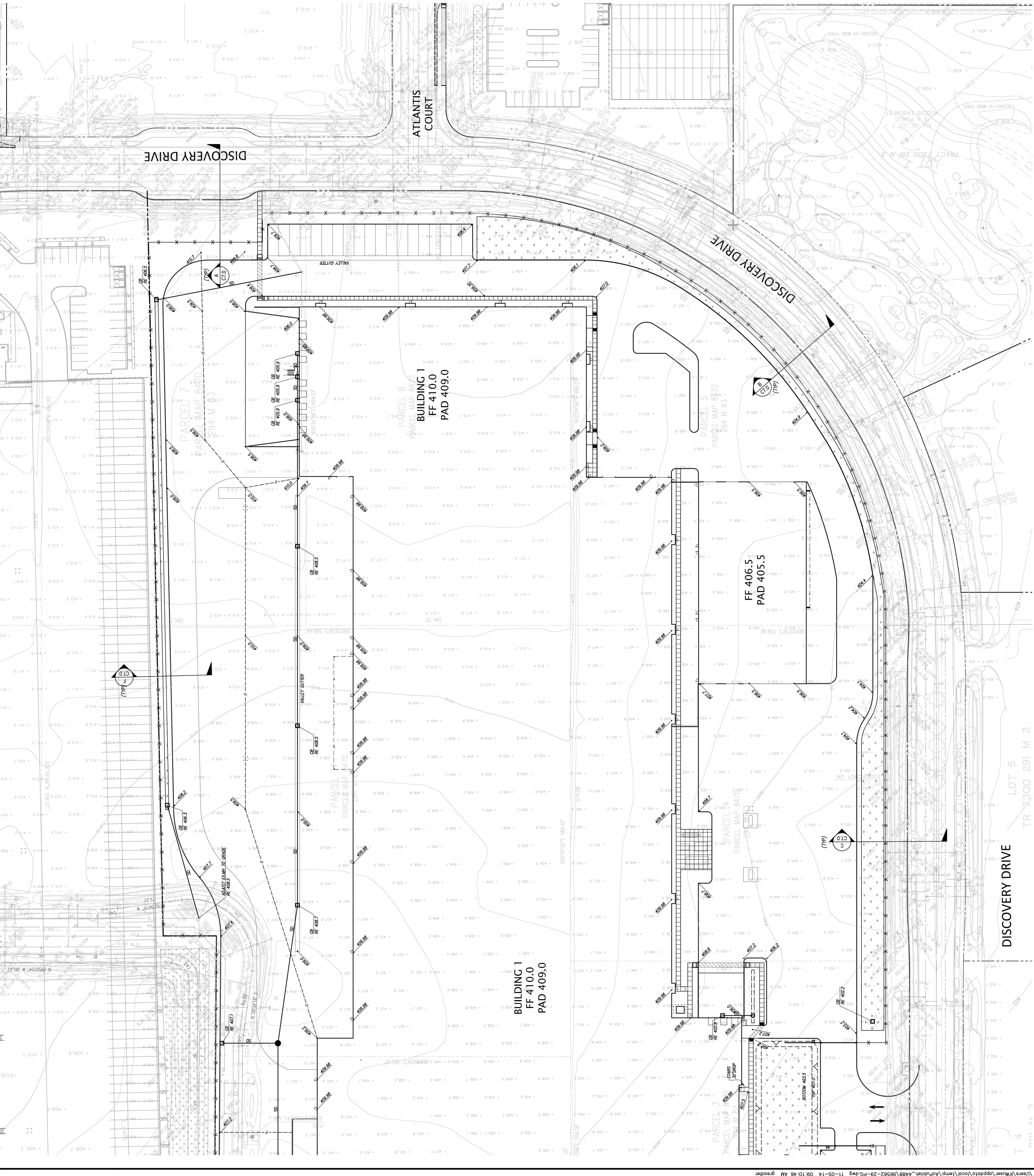
CALIFORNIA

KIER & WRIGHT  
CIVIL ENGINEERS & SURVEYORS, INC.  
2850 Collier Canyon Road  
Livermore, California 94551  
Phone (925) 245-8788  
Fax (925) 245-8796

NO.	REVISION	BY	NO.	REVISION	BY	NO.



- LEGEND**
- AREA DRAIN
  - STORM DRAIN CATCH BASIN
  - STORM DRAIN JUNCTION BOX
  - STORM DRAIN MANHOLE
  - FLOW LINE
  - PAVEMENT
  - PV
  - RM ELEVATION
  - SPOT ELEVATION
  - STORM DRAIN LINE
  - TOP OF CURB



LOT 5  
TR 7300 291 M 3

DISCOVERY DRIVE

T 4  
003 84 3

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PRELIMINARY UTILITY PLAN  
 OF  
 MANUFACTURING FACILITY, OAKS BUSINESS PARK  
 WARE MALCOLM  
 CALIFORNIA

LIVERMORE

DATE: 05/20/2014  
 SCALE: 1" = 40'  
 DESIGNER: DCR  
 JOB NO.: 96562-29  
 SHEET: C4.1  
 OF: 11

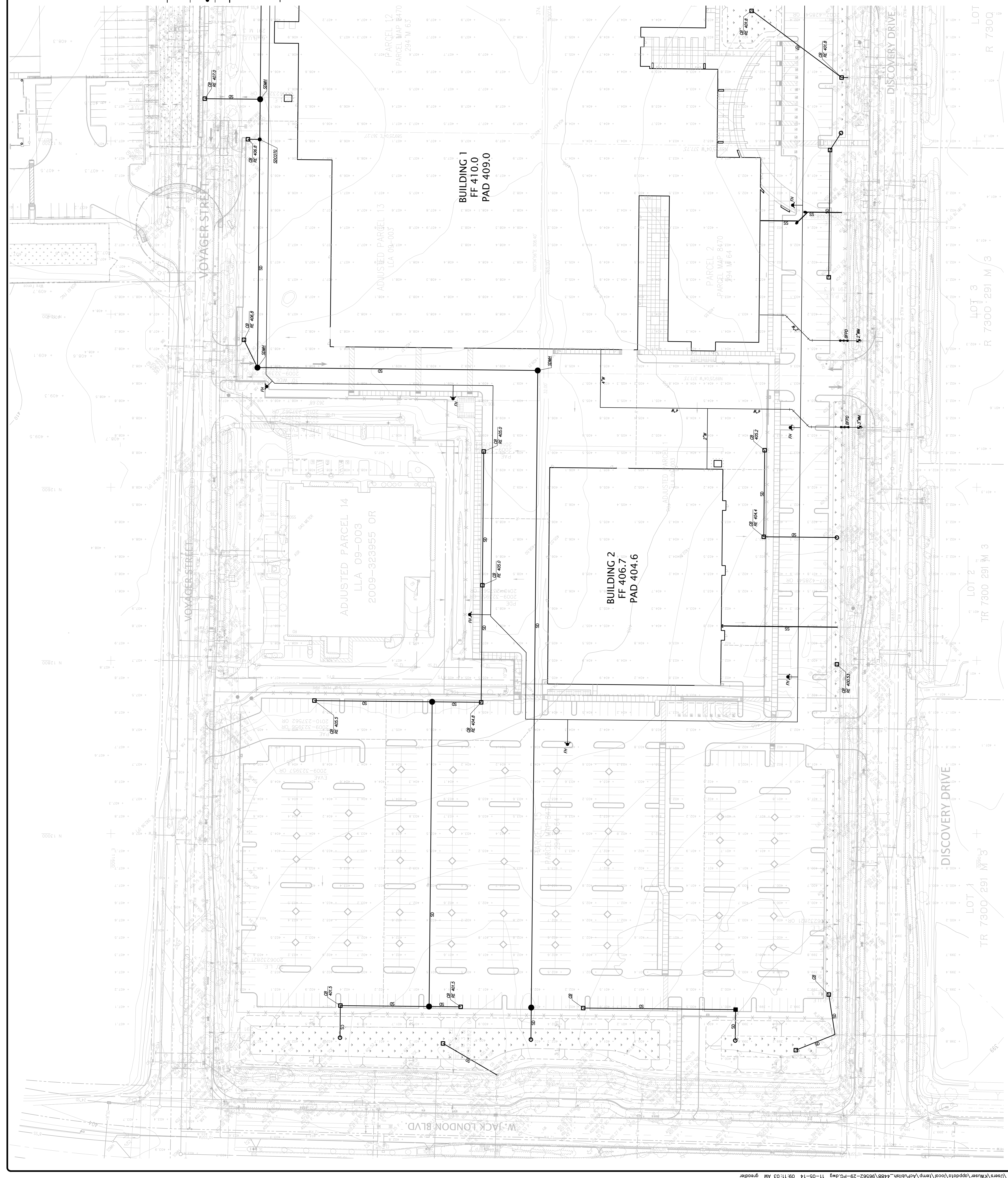
KIER & WRIGHT  
 CIVIL ENGINEERS & SURVEYORS, INC.  
 2830 Collier Canyon Road  
 Livermore, California 94551  
 Phone (925) 245-8788  
 Fax (925) 245-8796

NO.	REVISION	BY	NO.



LEGEND

- ASPR AUTOMATIC SPRINKLER RISER
- BACKFLOW PREVENTION DEVICE
- EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT & VALVE
- FIRE SERVICE FOR VALVE
- SAWTOOTH VALVE
- SS SANITARY SEWER
- SSW SANITARY SEWER CLEANOUT TO GRADE
- SSWH SINGLE CHECK VALVE
- SSWJ STORM DRAIN CATCH BASIN
- SSWJ STORM DRAIN JUNCTION BOX
- SSWJ STORM DRAIN MANHOLE
- SSWJ STORM DRAIN LINE
- SSWJ STORM DRAIN MANHOLE
- SSWJ WATER METER
- WS WATER SERVICE



PLANNING RE-SUBMITTAL 10/31/2014

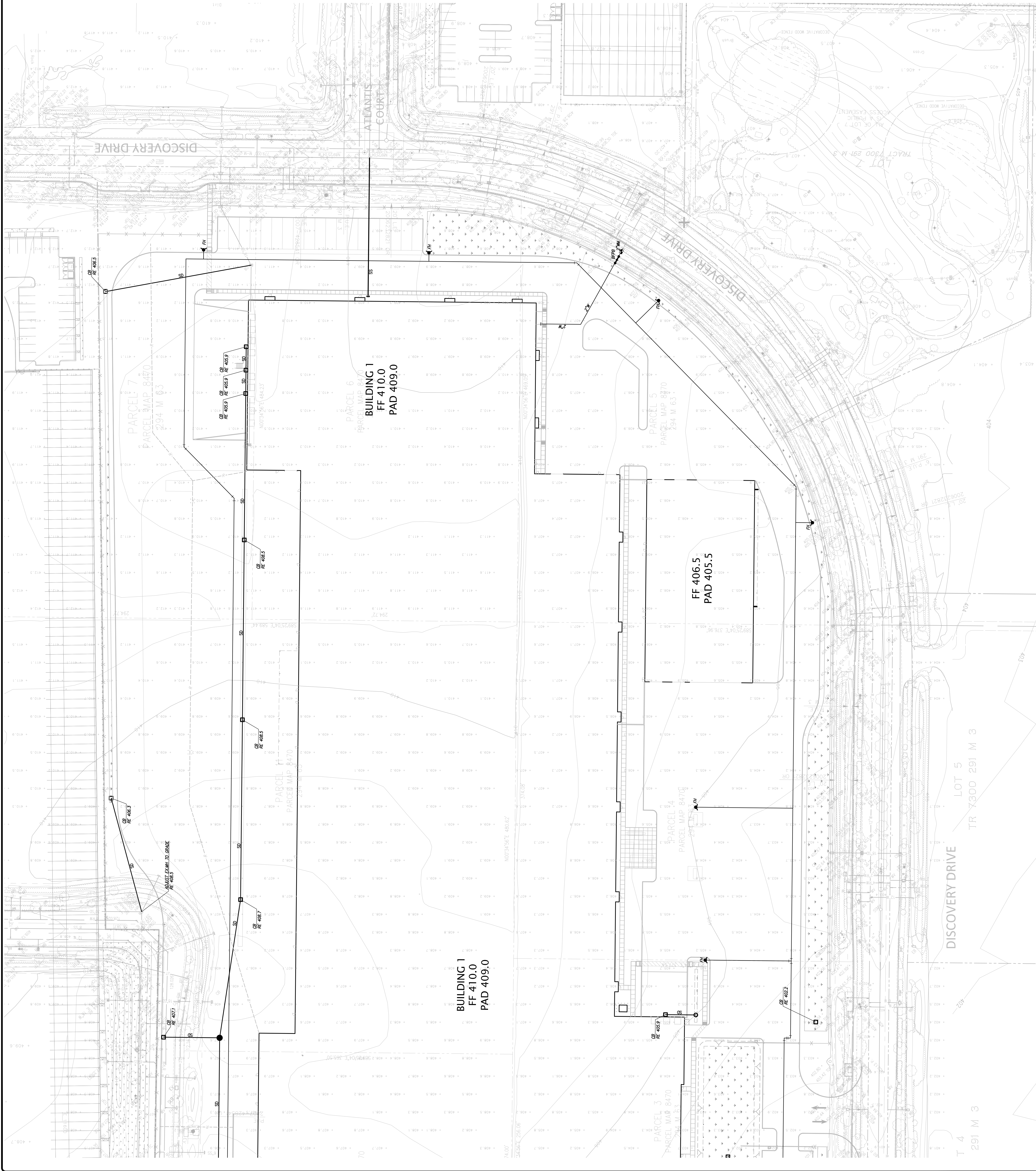
PRELIMINARY UTILITY PLAN  
OF  
MANUFACTURING FACILITY, OAKS BUSINESS PARK  
FOR  
WARE MALCOLM  
LIVERMORE  
CALIFORNIA

KIER & WRIGHT  
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2850 Collier Canyon Road  
Livermore, California 94551  
Phone (925) 245-8788  
Fax (925) 245-8796

NO.	REVISION	BY	NO.

**LEGEND**

ASPR	AUTOMATIC SPRINKLER RISER
~	BACKFLOW PREVENTION DEVICE
⊗	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
—	FIRE DEPARTMENT CONNECTION
—	FIRE HYDRANT & VALVE
—	FIRE SERVICE
—	FIRE HYDRANT VALVE
SS	SEWER
SS	SANITARY SEWER
SS	SANITARY SEWER CLEANOUT TO GRADE
SS	SANITARY SEWER MANHOLE
SS	SINGLE CHECK VALVE
SS	STORM DRAIN CATCH BASIN
SS	STORM DRAIN JUNCTION BOX
SS	STORM DRAIN MANHOLE
SS	STORM DRAIN LINE
SS	STORM DRAIN MANHOLE
SS	WATER MEASUREMENT
SS	WATER SERVICE

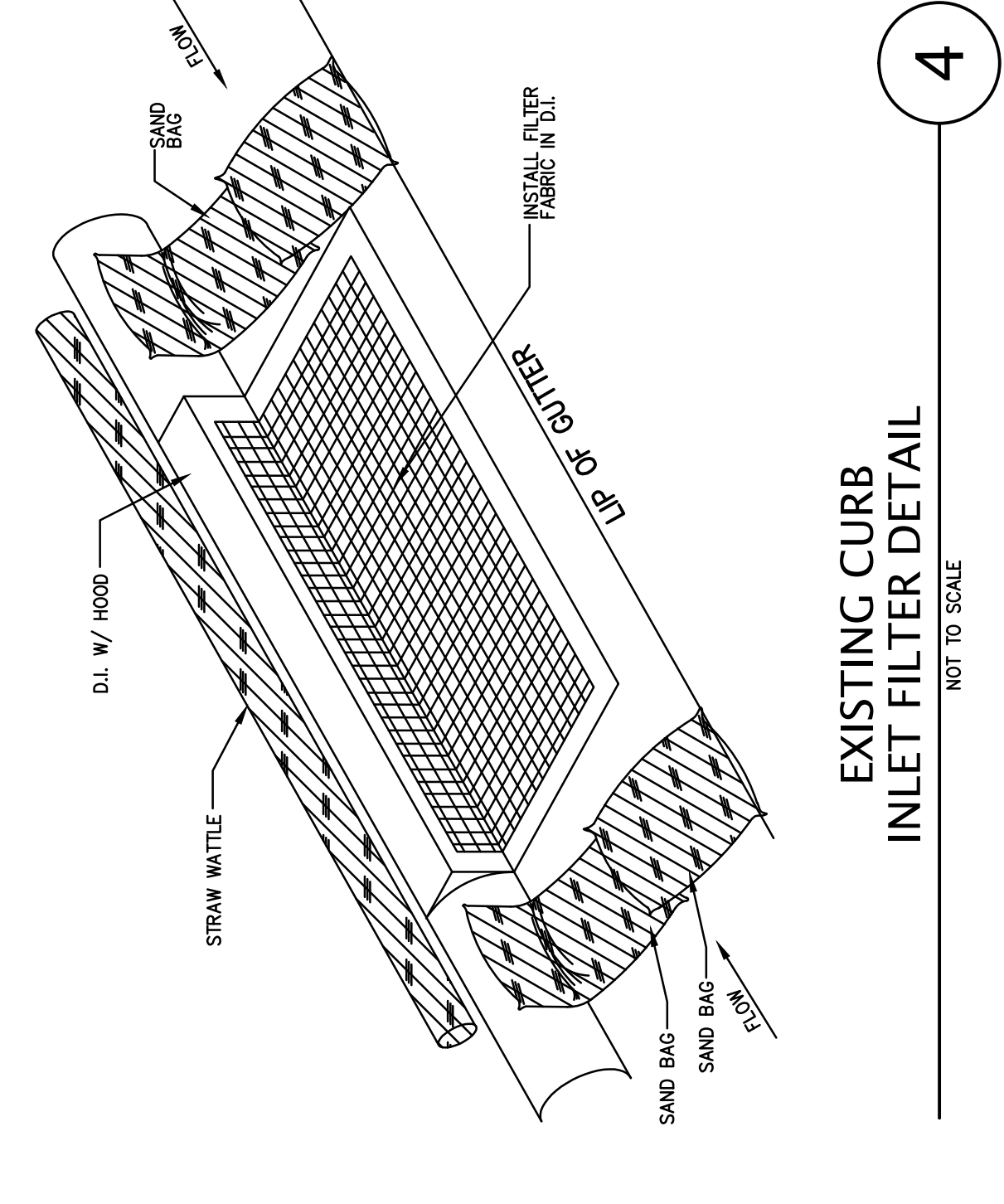
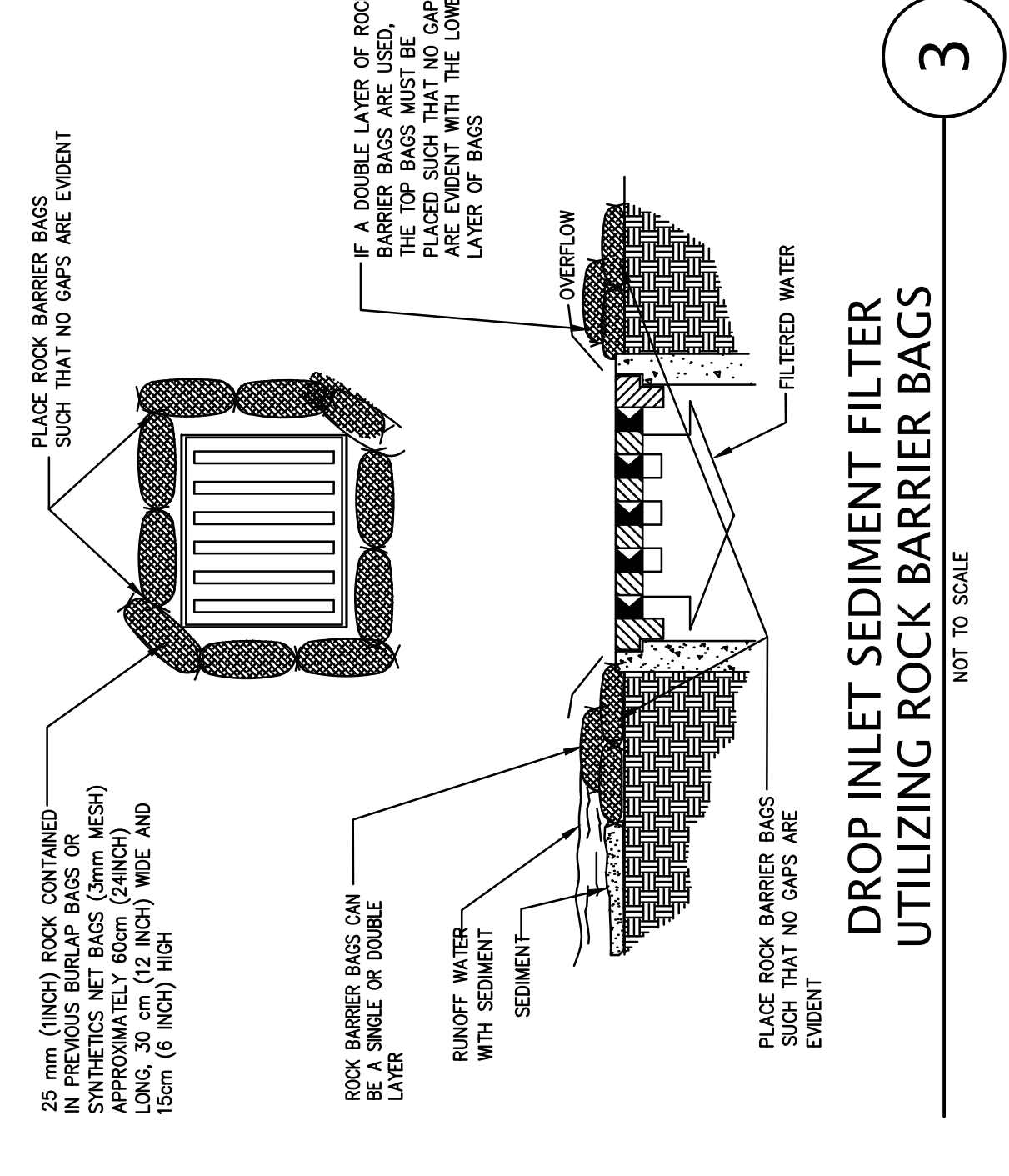
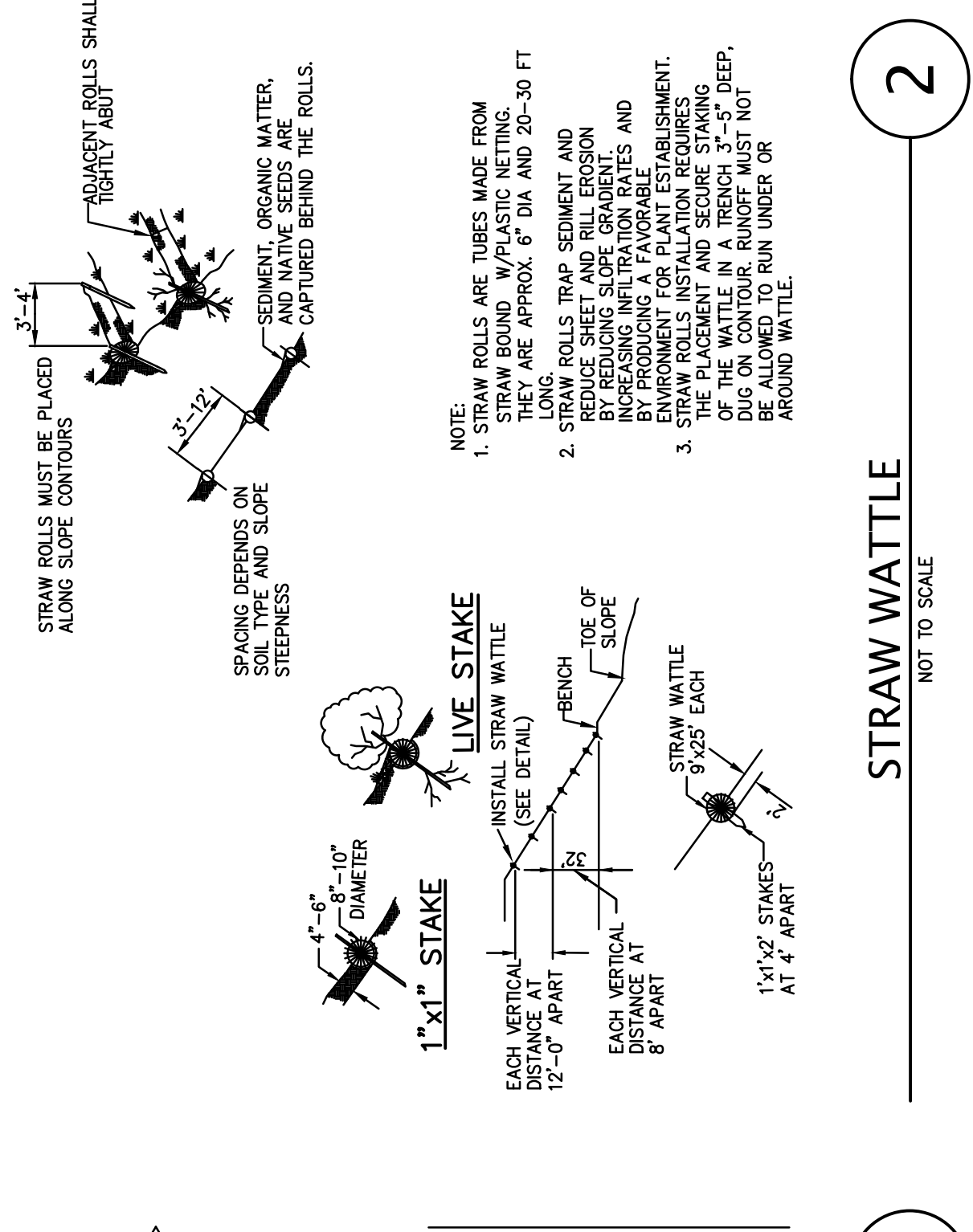
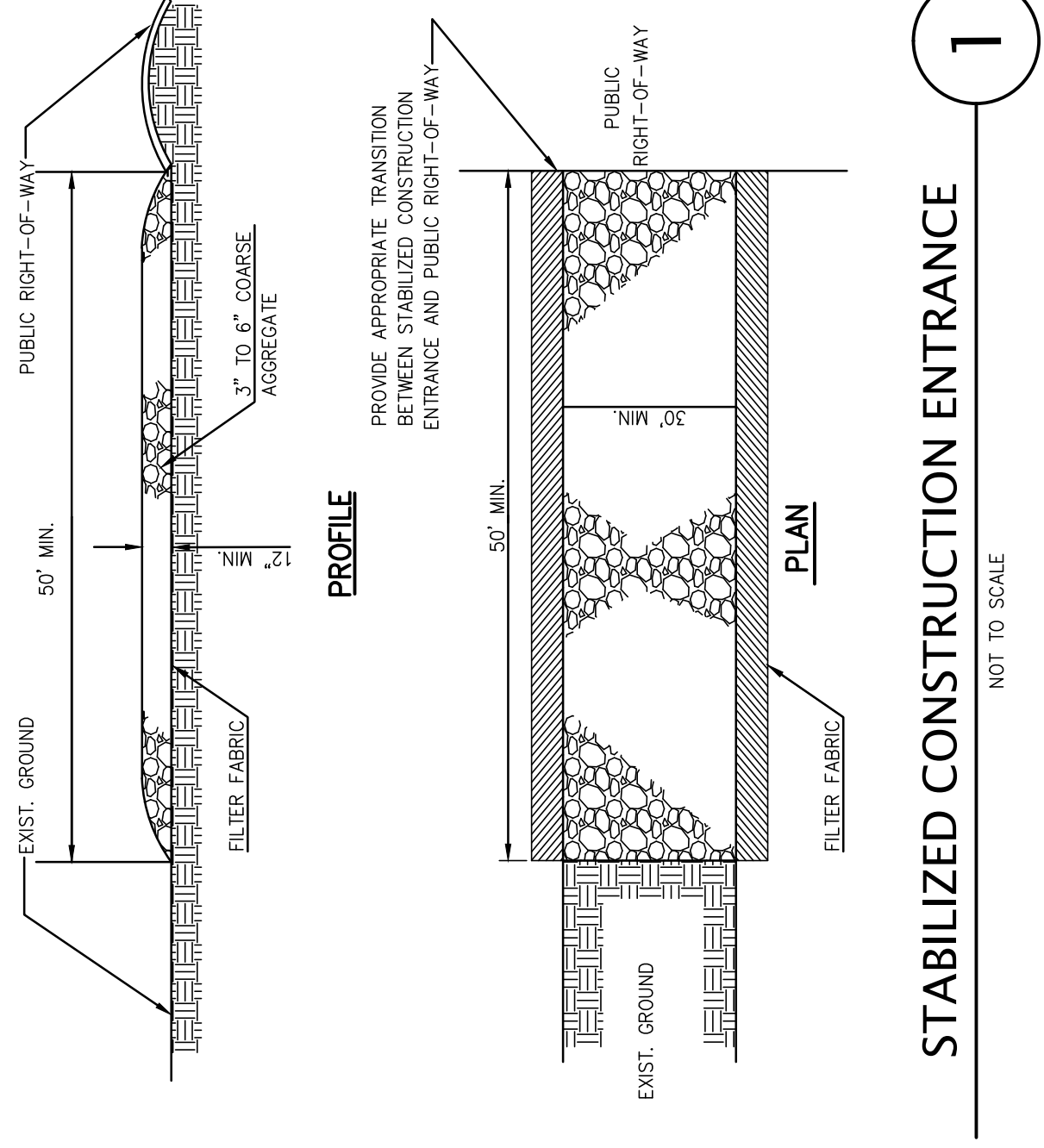
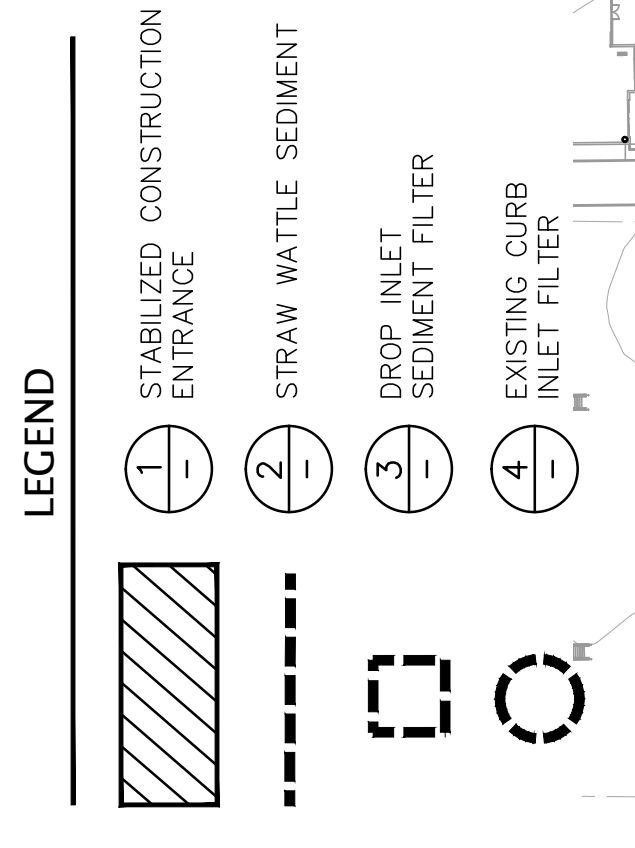
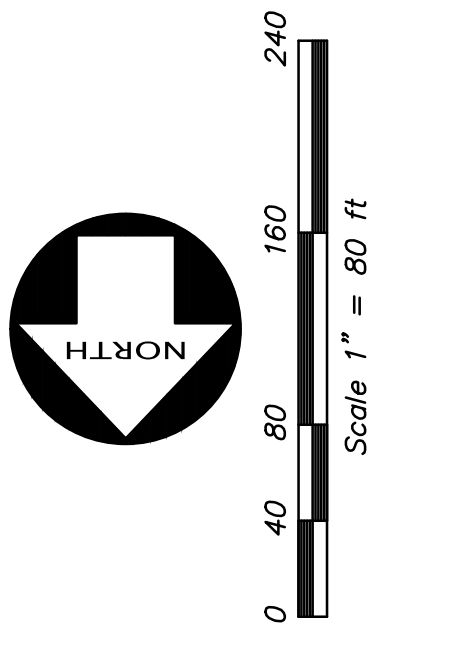
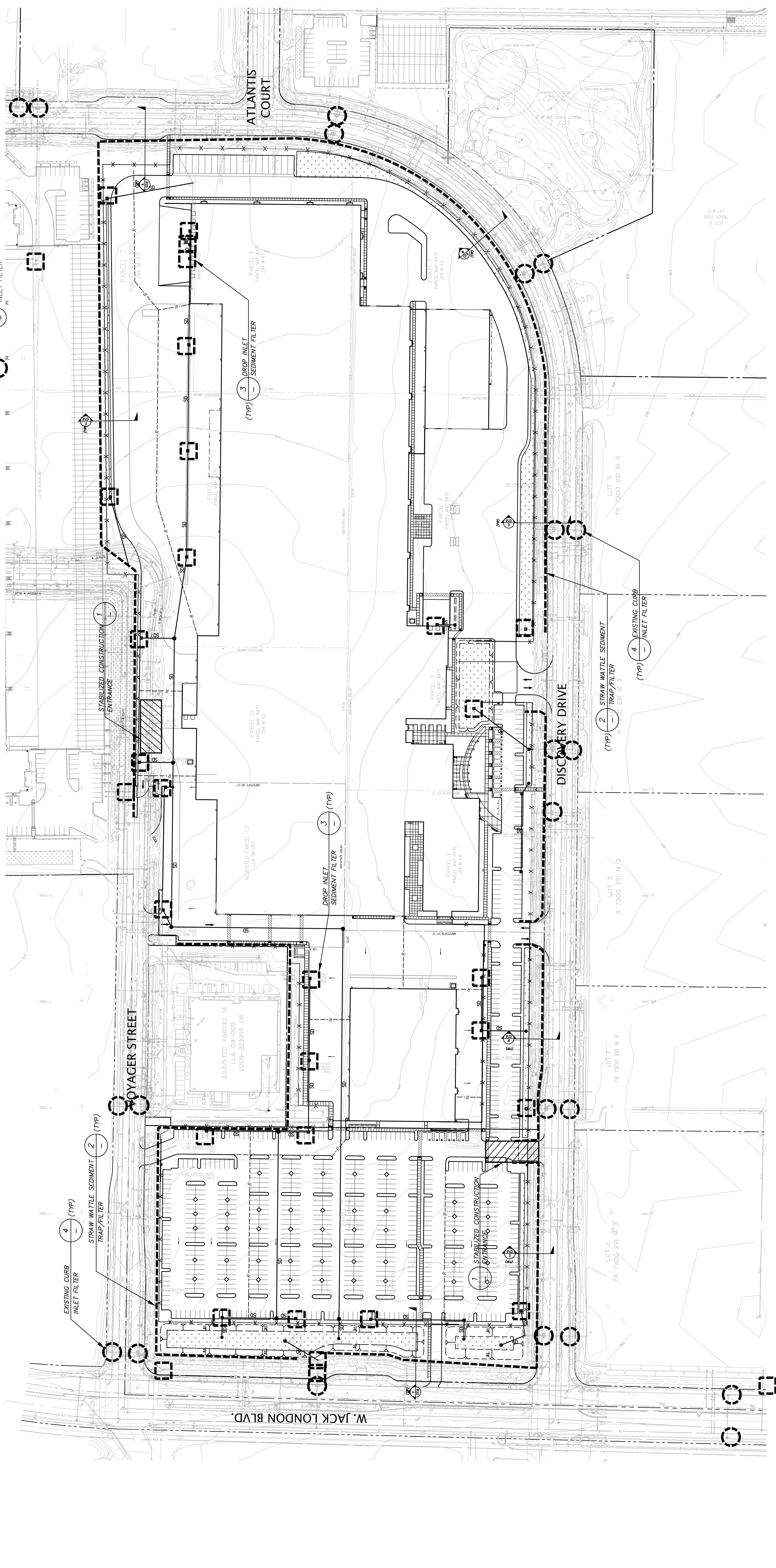


# EROSION CONTROL PLAN

OF  
MANUFACTURING FACILITY, OAKS BUSINESS PARK  
FOR  
WARE MALCOLM  
CALIFORNIA

KIER & WRIGHT  
CIVIL ENGINEERS & SURVEYORS, INC.  
2850 Collier Canyon Road  
Livermore, California 94551  
Phone (925) 245-8788  
Fax (925) 245-8796

NO.	REVISION	BY	NO.	REVISION

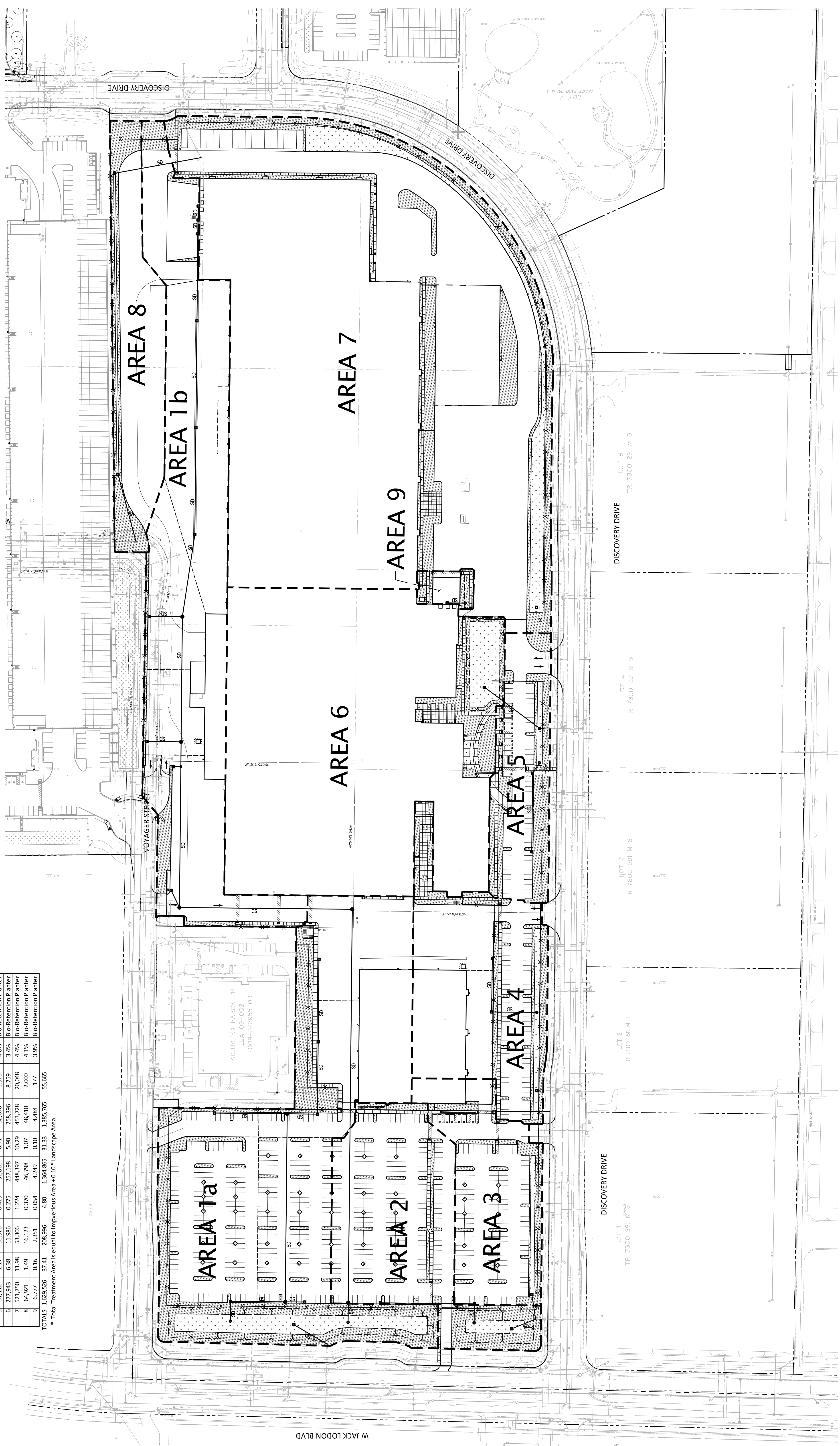


STORMWATER QUALITY CONTROL PLAN  
OF  
MANUFACTURING FACILITY, OAKS BUSINESS PARK  
FOR  
WARE MALCOMB  
CALIFORNIA

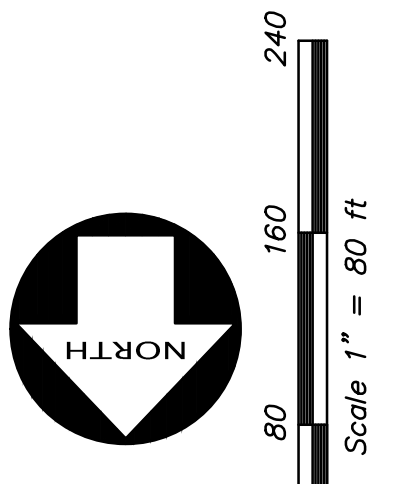
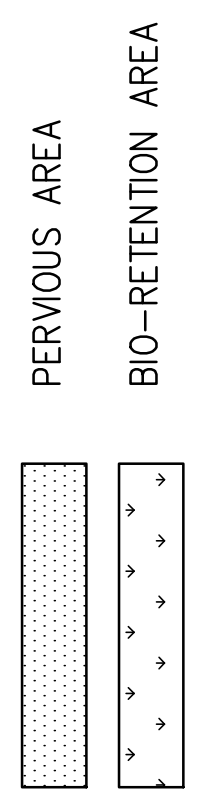
LIVERMORE  
DATE 05/20/2014  
SCALE 1" = 80'  
DESIGNER DCR  
JOB NO. 96562-29  
SHEET C6.0  
OF 11 SHEETS

KIER & WRIGHT  
CIVIL ENGINEERS & SURVEYORS, INC.  
2850 Collier Canyon Road  
Livermore, California 94551  
Phone (925) 245-8788  
Fax (925) 245-8796

NO.	REVISION	BY	NO.



LEGEND

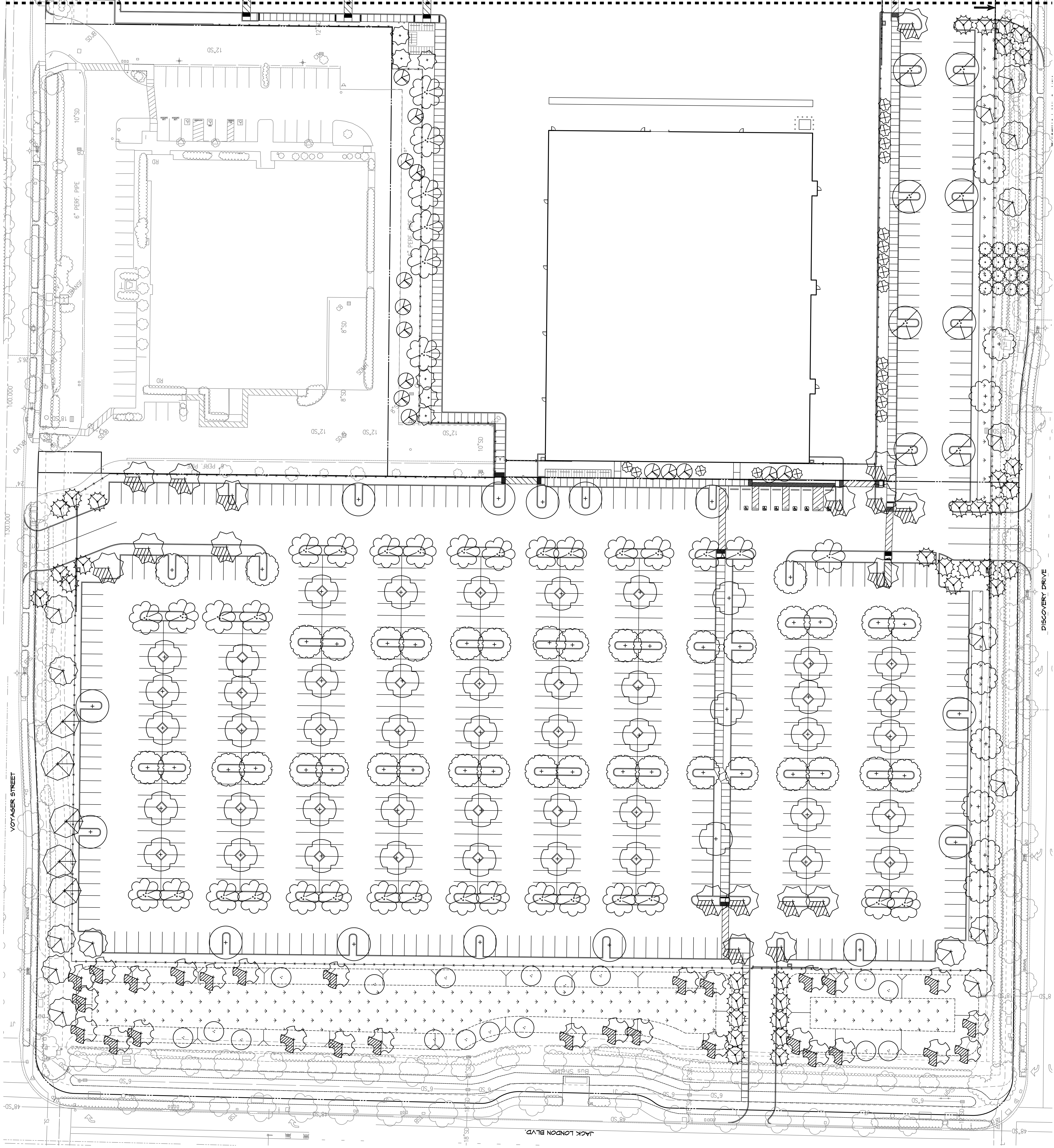


**BIO-RETENTION SIZING CALCULATIONS**

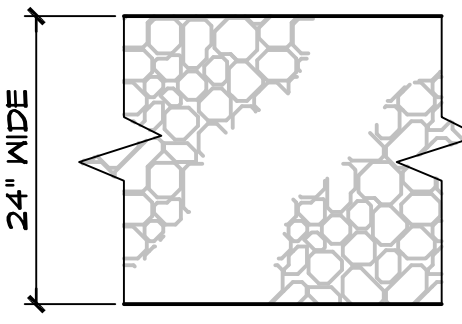
Area No.	Area (SF)	Area (AC)	Landscape (SF)	Landscape (AC)	Improv. (SF)	Improv. (AC)	Treatment Area* (SF)	Treatment Area* (AC)	Ratio (%)	Sizing Ratio (%)	Type of Planter
1a	244,533	5.61	53,252	1.22	188,281	4.22	189,248	4.22	4.0%	4.0%	Bio-Retention Planter
1b	10,233	0.23	17,596	0.39	10,233	0.23	10,233	0.23	3.4%	3.4%	Bio-Retention Planter
2	67,886	1.56	10,716	0.24	57,170	1.27	57,170	1.27	2.6%	2.6%	Bio-Retention Planter
3	67,886	1.56	10,716	0.24	57,170	1.26	56,113	1.23	3.8%	3.8%	Bio-Retention Planter
4	98,507	2.26	14,768	0.33	83,739	1.84	81,636	1.80	4.4%	4.4%	Bio-Retention Planter
5	51,112	1.17	18,520	0.42	31,018	0.71	32,870	0.75	4.8%	4.8%	Bio-Retention Planter
6	277,943	6.38	11,986	0.27	257,956	5.90	258,396	5.90	3.4%	3.4%	Bio-Retention Planter
7	521,750	11.98	53,306	1.24	448,397	10.29	453,728	10.29	4.4%	4.4%	Bio-Retention Planter
8	64,921	1.49	16,123	0.37	46,798	1.07	48,110	1.07	4.1%	4.1%	Bio-Retention Planter
9	6,777	0.16	2,351	0.05	4,249	0.10	4,484	0.10	3.9%	3.9%	Bio-Retention Planter
<b>TOTALS</b>	<b>1,629,526</b>	<b>37.41</b>	<b>208,996</b>	<b>4.80</b>	<b>1,364,885</b>	<b>31.33</b>	<b>1,385,765</b>	<b>31.33</b>			

\* Total Treatment Area is equal to ImperVIOUS Area + 0.10 \* Landscape Area.





MATCHLINE SEE SHEET L1.1



4" MINS ROUNDED  
VEGETABLE SET  
COVER COBBLE  
IN CONCRETE

1/2" GAP BETWEEN COBBLES

4" COMPRESSED  
AGGR. BASE

**COBBLED DRAINAGE  
SWALE**

NOTE: INSTALL AT ALL ROOF DRAINS THAT DRAIN  
INTO PLANTER AREAS. EXTEND COBBLED  
SWALE FROM BUILDING TO PAVED AREA  
PERPENDICULAR TO THE BUILDING.

**LANDSCAPE CALCULATIONS BUILDING 3**

TOTAL SITE AREA: 39.82 ACRES  
TOTAL PAVED AREA: 120,000 S.F.  
JACK LONDON STREET FRONTAGE LANDSCAPE REQUIRED 35' WIDE (PROVIDED)  
DISCOVERY STREET FRONTAGE LANDSCAPE REQUIRED 30' WIDE (PROVIDED)  
VOYAGER STREET FRONTAGE REQUIRED 25' WIDE (PROVIDED)  
TOTAL PAVED AREA: 120,000 S.F.  
SITE AREA LANDSCAPE REQUIRED EQUAL TO 8% OF BLDG. PAD AREA = 22,900 S.F.  
BUILDING ACADRE FACING STREET LANDSCAPE REQUIRED 13,936 S.F.  
BUILDING ACADRE FACING STREET LANDSCAPE REQUIRED 5' WIDE  
PARKING LOT AREA LANDSCAPE REQUIRED 16% OF PARKING AREA = 92,894 S.F.  
PARKING SPACES PROVIDED: 840  
PARKING AREA TREES PROVIDED: 165  
PARKING AREA TREES PROVIDED: 165 SPACES = 141  
TURF AREA PROVIDED: 6,925 S.F. (6%)

NOTE:

- 1. PARKING AREA INCLUDING ISLANDS, STALLS, AISLES AND ACCESS DRIVES
- 2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS

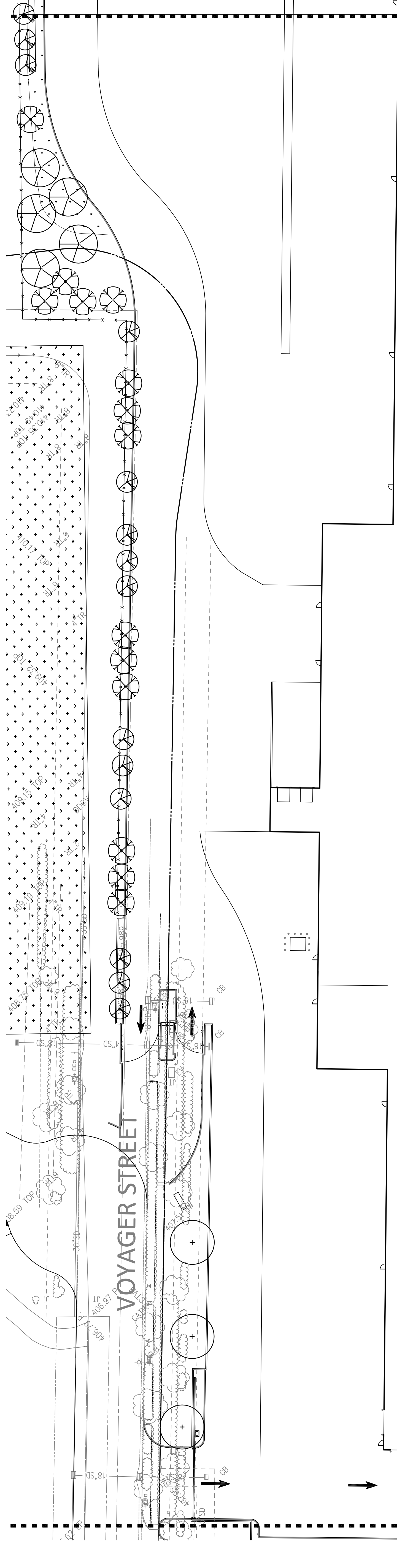
**WATER EFFICIENT LANDSCAPE REQUIREMENTS**

AUTOMATIC CONTROLLER W/ ET DATA. REPEAT CYCLING  
MINIMAL DROUGHT TOLERANT TURF - EMPLOYEE AREA ONLY  
WATER SENSITIVE PLANTS  
WINTER IRRIGATION SENSOR  
WATER IRRIGATION SENSOR TO BE SPECIFIED  
SOIL ATTENDMENTS TO BE INCORPORATED  
PLANTER SURFACE AREAS TO BE MULCHED  
WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD



Landscape Plan  
Manufacturing Facility—The Oaks Progress DD/Preliminary Pricing

NOTE: RECYCLED WATER IRRIGATION PER CITY OF LIVERMORE  
RECYCLED WATER GUIDELINES



### SEEDING AREA MIX AND NOTES

Quantities	Native Grass	Species/Common Name:
12	Bromus ciliaris	Native California Bromo
10	Elymus glaucus	Blue Wildrye
8	Holcus californicus	California Barley
6	Vulpia microstachya	Blue Fescue
5	Conyza bonariensis	White Top
5	Nassella pulchra	Purple Needlegrass
4	Poa secunda	Native Pine Bluegrass
2	Eriochloa californica	Ca Poppy
1	Lupinus nanus	Skv Lupine
1	Chickia purpurea	Purple Farrowell to Spring

SEED IS AVAILABLE FROM: **PACIFIC COAST SEED**, 933 LAURELWOOD PL., LIVERMORE, CA. PHONE: (925) 373-4411

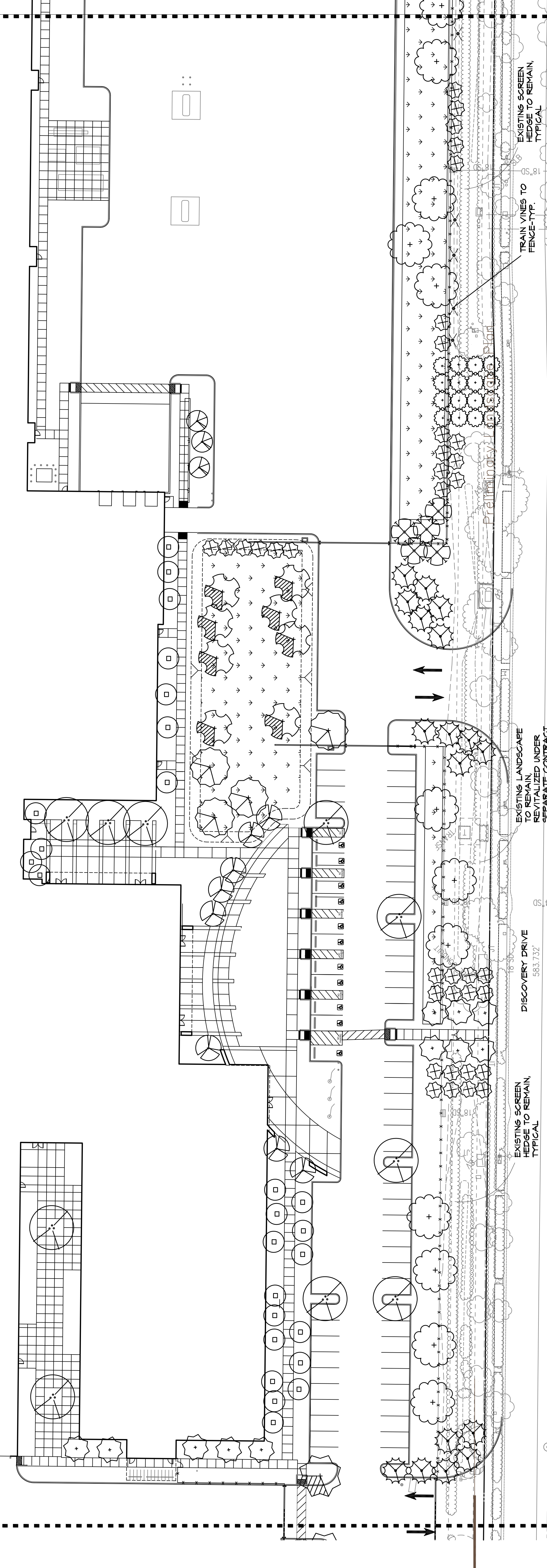
### Bio-Swale Mix - Compact

Lbs./Ac.	Species / Common Name
24	Agrostis pulchra
24	Tringoides
2	Dochampia cespitosa
2	Juncus effusus
2	Conyza bonariensis
2	Carex prostrata
2	Carex prostrata

SEED IS AVAILABLE FROM: **PACIFIC COAST SEED**, 933 LAURELWOOD PL., LIVERMORE, CA. PHONE: (925) 373-4411

POSSIBLE FERTILIZER APPROX. IS 10 LB PER ACRE PER SOIL ANALYSIS DRAWING. SOIL SHOULD BE REMOVED FROM THE PLANTING AREAS. SOIL SHOULD BE COMPACTED TO A MINIMUM OF 10% MOISTURE. EXISTING AREAS SHOULD BE REWORKED TO A MINIMUM OF 4" AND RAKED SMOOTH PRIOR TO SEEDING. FERTILIZER AT THE RATE OF 10 LBS PER 1000 SQ FT WITH 6-20-20 FERTILIZER OR PER SOIL ANALYSIS PRIOR TO SEEDING. AREAS SHOULD BE UNIFORMLY BROADCAST AND LIGHTLY COVERED BY RAKING OR DRAGGING. ALL SEED SHOULD BE GUARANTEED A MIN. OF 90% PURE LIVE SEED. THE DESIGNATED SEEDING AREAS SHALL BE SPRAIRED WITH A TACKLER AFTER SEED HAS BEEN BROADCAST AND RAKED. THE TACKLER SHALL BE 1" BINDER APPLIED @ THE RATE OF 200 LBS PER ACRE. ALL SEEDING AREAS SHALL BE APPLIED WITH ECOLOGICAL BIODIVERSITY FIBER. THE FIBER SHALL BE APPLIED PER THE MANUFACTURERS DIRECTION AT THE RATE OF 1000 LB/AC. THE FIBER SHOULD BE APPLIED WITHIN THE SAME DAY AS SEEDING TO PREVENT WIND EROSION OF THE SEED AND SOIL. THE REVEGETATION AREAS SHALL BE SEIRED IN LATE FALL, AFTER OCT. 1. THE REVEGETATION AREAS SHALL BE STABILIZED UPON COMPLETION OF GRADING. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER REPRESENTATIVE OF ANY SEEDING DEFICIENCIES WITHIN 3 MONTHS OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF TEMPORARY EROSION CONTROL MEASURES TO THE LANDSCAPE ARCHITECT (2) TWO WEEKS PRIOR TO INSTALLATION APPROVAL BY LANDSCAPE ARCHITECT (2) TWO WEEKS PRIOR TO INSTALLATION. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DAILY DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE REMOVED AS THE PLANT MATERIAL HAS GERMINATED. FOLLOWING GERMINATION THE PLANT MATERIAL SHALL BE MAINTAINED UNTIL WELL ESTABLISHED. (THIS THE PRAVE MAY VARY DEPENDENT UPON THIS SPECIFICATIONS. TRENCH IRRIGATION SHALL BE SUPPLIED FOR THIS SPECIFICATIONS).

MATCHLINE SEE SHEET L1.0



EXISTING LANDSCAPE TO REMAIN. REVEGETATED UNDER SEEDING CONTRACT.

EXISTING LANDSCAPE TO REMAIN. HEDGE TO REMAIN TYPICAL.

TRAIL VINES TO FENCE-TYPICAL.

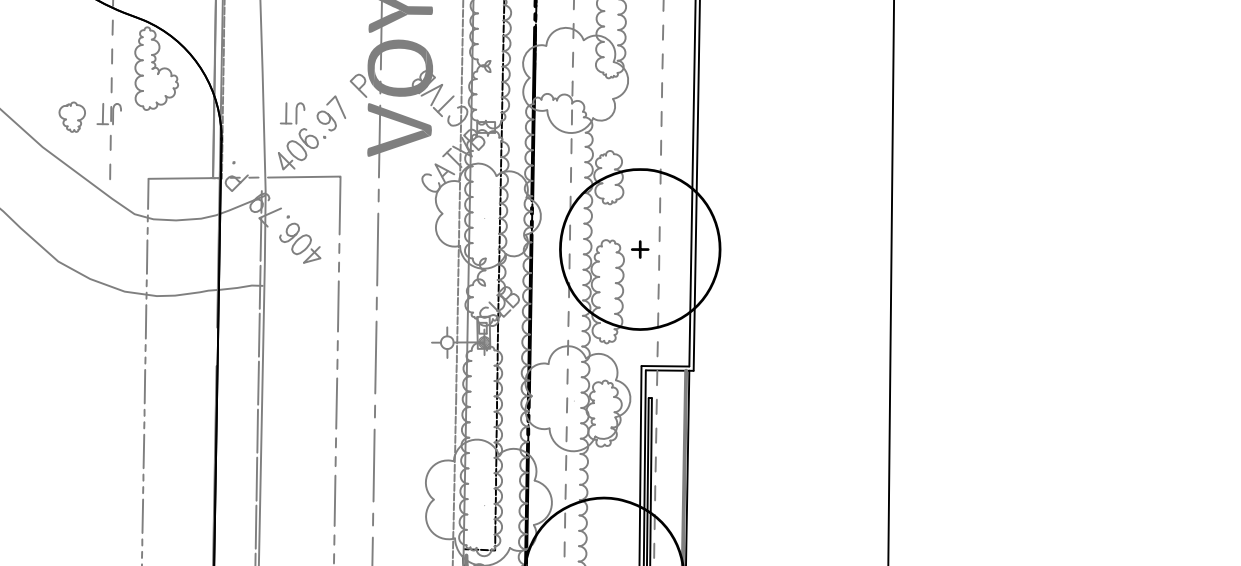
EXISTING SCREEN HEDGE TO REMAIN TYPICAL.

MATCHLINE SEE SHEET L1.2

### LANDSCAPE NOTES:

- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR UPON FINAL ACCEPTANCE OF THE PROJECT. SCHEDULING AND HOUSING FOR THE ONE YEAR GUARANTEE PERIOD. THE CONTRACTOR SHALL MAINTAIN THE PLANT MATERIALS THROUGHOUT THE GUARANTEE PERIOD. TAG ALL REPLACED PLANT MATERIAL WITH REPLACEMENT DATE.
- MAINTENANCE SHALL INCLUDE 3 APPLICATIONS OF VERTIA-FLEX FOLIAR OR EQUAL ORGANIC FERTILIZER TO TREES AND SHRUBS TO THE OTHER 48 HRS. IN ADVANCE TO APPLICATION.
- ALL WEEDS AND DEBRIS SHALL BE REMOVED FROM EXISTING SUBGRADE AFTER ALL ON-SITE GRADING IS COMPLETE PRIOR TO ADDING SOILS. ALL WEEDS AND DEBRIS SHALL BE REMOVED FROM EXISTING SUBGRADE PRIOR TO ADDING SOILS.
- ALL COLLECTED SAMPLES AND SUBMIT ONE MIXED SAMPLE FOR ANALYSIS TO AN AGRICULTURAL SUITABILITY LAB. PLANTER AREA SOILS SHALL BE ANALYZED FOR NUTRIENT LEVELS AND TO DETERMINE SOIL PH. PLANTING.
- SOIL RECOMMENDATIONS IN ROCK MULCH AREAS WHERE SHRUBS AND OR TREES ARE AT A MINIMUM. SOIL AMENDING MAY BE PROVIDED PER INDIVIDUAL TREE OR PLANTING AREA. SOIL AMENDING SHALL BE APPLIED TO THE EXISTING SOIL AFTER TILLING TO 12" DEPTH WITH APPROVED IMPORT TOPSOIL.
- ALL SOILS TO BE USED ON THE SITE SHALL BE ANALYZED FOR ORGANIC PLANTS AND TURE SHALL BE SPRAIRED WITH VERTIA-FLEX OR EQUAL ORGANIC FOLIAR FERTILIZER AFTER INSTALLATION.
- ALL CONCRETE HEADERS SHALL BE 4" x 6" x 80 CONCRETE EXTRUDED IN PLACE. TOP OF EXISTING PAVING. HEADERS NOT ADJACENT TO EXISTING FOUNDATION SHALL BE CONCRETE. ALL OTHER CONCRETE SHALL NOT CONFINE UNTIL FINAL GRADING OF THE PLANTER AREAS SHALL BE CONTACTED TO 20% THE NATIVE COMPOSITION. THE CONCRETE MIX SHALL INCLUDE COLLATED FIBRILLATED POLYPROPYLENE FIBERS AS PER VIRTIA-FLEX OR APPROVED EQUAL. ADD 1/2 LB PER FIBERESH PROVIDED A MIN. OF EVERY 3 LF. REFER TO DETAIL SH-1.13.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIAL PER SYMBOLS AND SPACING INDICATED ON THE PLAN. SYMBOLS PREVALE OVER QUANTITIES LISTED IN THE PLANT LEGEND.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIALS PER SYMBOLS AND SPACING INDICATED ON THE PLAN. SYMBOLS PREVALE OVER QUANTITIES LISTED IN THE PLANT LEGEND.
- 24 HR. MIN. NOTICE TO THE OWNER REPRESENTATIVE REQUIRED.
- ALL PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF ANSI 2620 / AMERICAN STANDARD FOR NURSERY STOCK SHALL BE REPLACED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAILURE TO RECEIVE APPROVAL PRIOR TO PLANTING. ANY REJECTED PLANT REJECTION AND THE CONTRACTOR SHALL REPLACE ALL REJECTED PLANT AND EVALUATE THE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNERS REPRESENTATIVE A MIN. OF 48 HOURS IN ADVANCE FOR THE FOLLOWING SITE:
  - A MIN. OF 48 HOURS IN ADVANCE FOR THE FOLLOWING SITE:
    - PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
    - PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
    - PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
    - ADDITIONAL OBSERVATIONS DETERMINED BY THE OWNERS REPRESENTATIVE OR CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR MAY SUBMIT A REQUEST TO PROVIDE SUBSTITUTIONS FOR THE SPECIFIED PLANT MATERIAL UNDER THE FOLLOWING CONDITIONS:
  - THE CONTRACTOR HAS IDENTIFIED UTILITIES WITHIN THE BOUNDS OF THE CONTRACT. SUBSTITUTIONS MUST MEET EQUIVALENT DESIGN AND FUNCTIONAL GOALS OF THE ORIGINAL PLANT MATERIAL AS SPECIFIED ON THE PLAN.
  - THE REQUEST MUST BE ACCOMPANIED BY AT LEAST THREE NOTICES FROM PLANT SUPPLIERS THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE PRIOR TO THE CONSTRUCTION PHASE.
  - THE CONTRACTOR SHALL COORDINATE WITH THE OWNERS SITE SUPERINTENDENT IN VARIATING ELEVATION OF FINISHED GRADE PER CIVIL IS COMPLETE AND IN PLACE PRIOR TO START OF WORK.
  - A MINIMUM OF 1" OF COMPOST SHALL BE TILLED INTO THE TOP 6" OF ALL FINAL GRADES IN LANDSCAPE PLANTERS WITH EXCEPTION OF THE TYPICAL PLANTER. SOIL ANALYSIS AND AMENDING SHALL BE PER WRITTEN SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL INSURE POSITIVE DRAINAGE IN ALL PLANTER AREAS PER CIVIL ENGINEERS GRADING PLAN AFTER HOUSING/LANDSCAPE IMPROVEMENTS ARE COMPLETE.
- PROVIDE 5 COPIES OF SUBMITTAL PACKAGE OF ALL LANDSCAPE COMPONENTS AND MATERIALS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.

### NOTE: RECYCLED WATER IRRIGATION PER CITY OF LIVERMORE RECYCLED WATER GUIDELINES

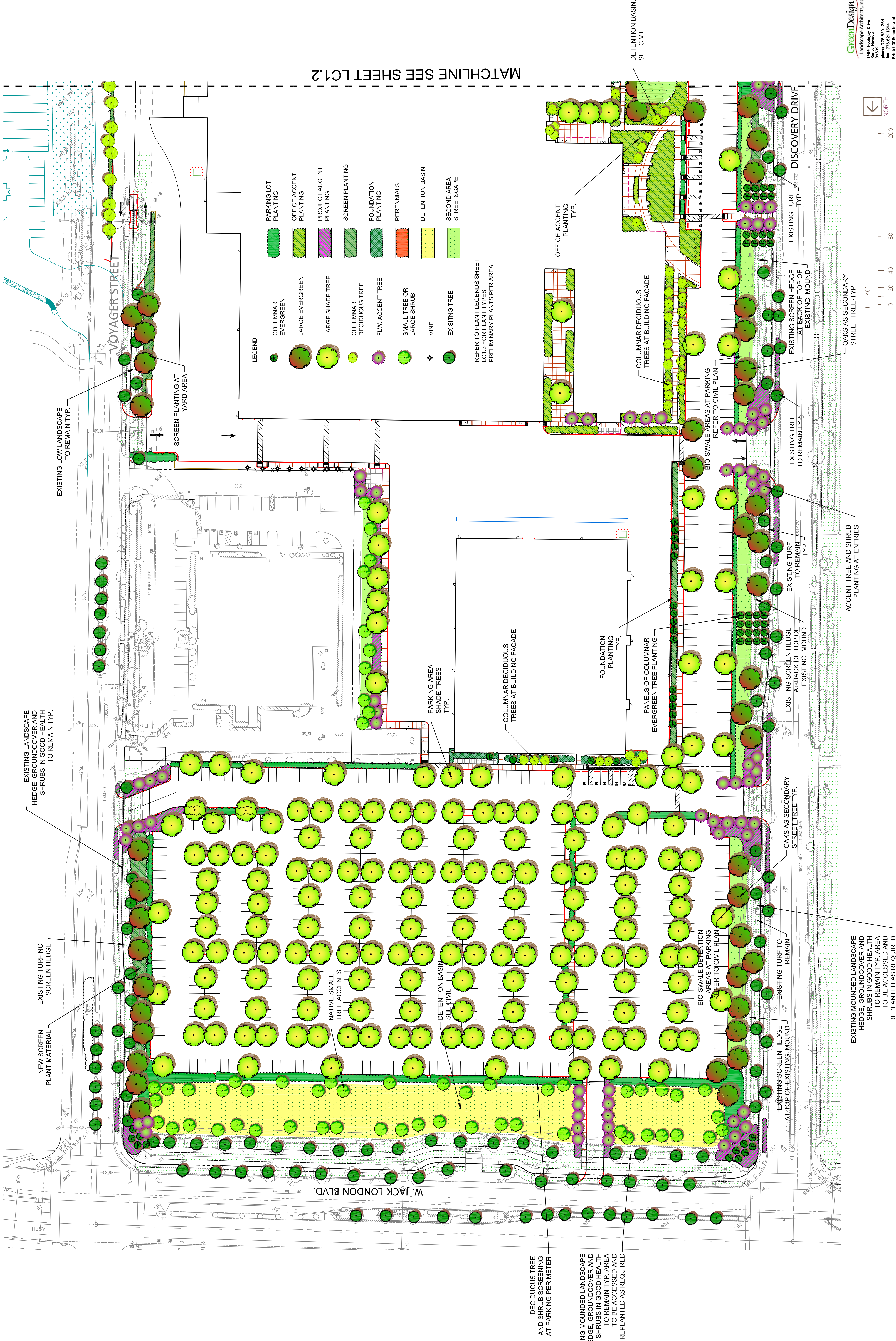


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Bham0000@earthlink.net

Progress DD/Preliminary Pricing

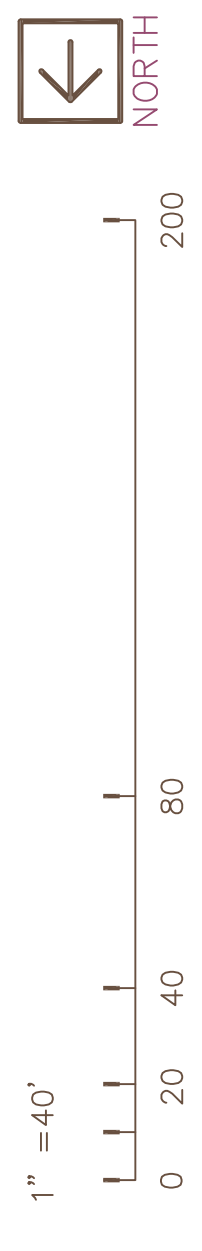




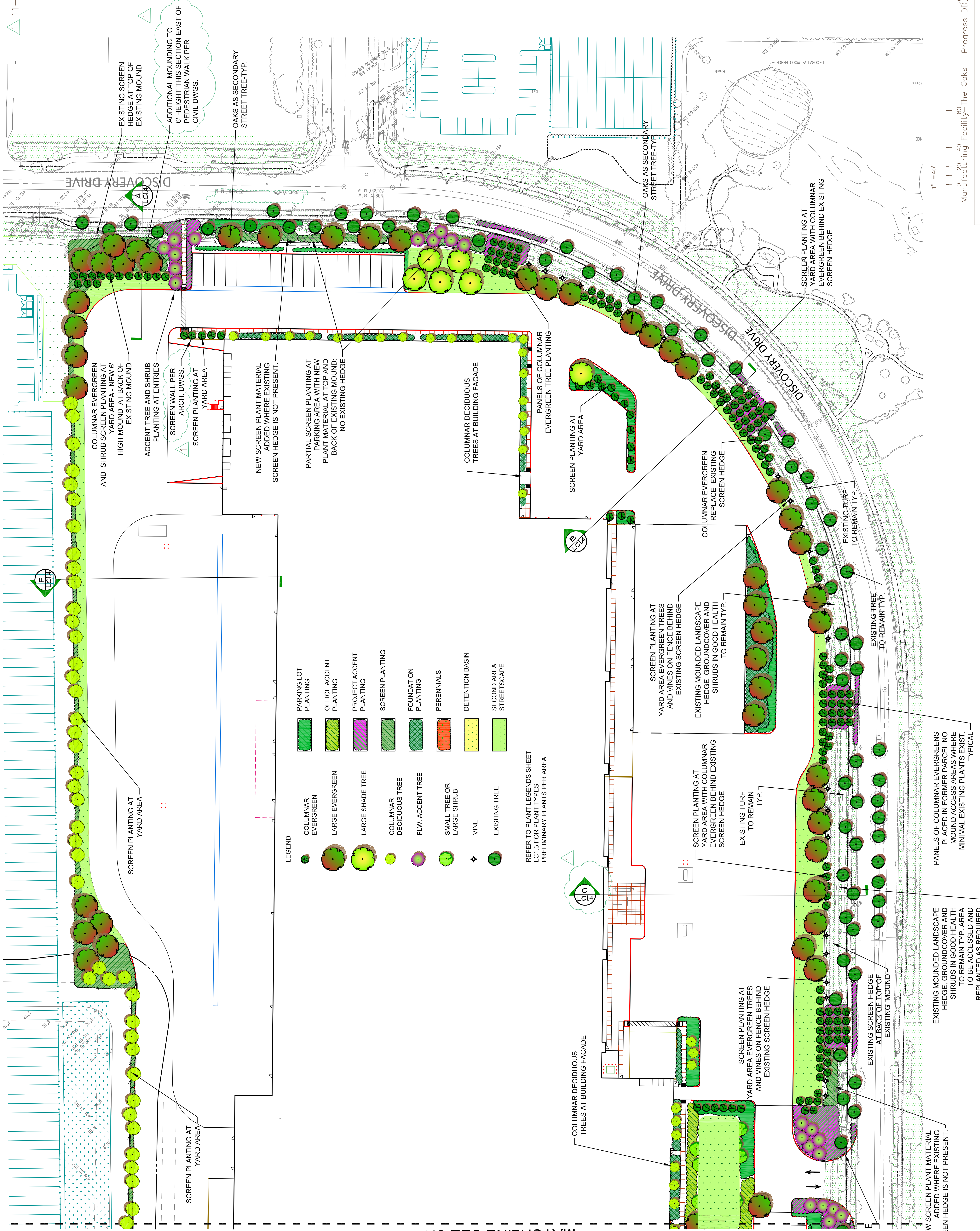


MATCHLINE SEE SHEET LC1.2

- LEGEND**
- |  |                           |  |                         |
|--|---------------------------|--|-------------------------|
|  | COLUMNAR EVERGREEN        |  | PARKING LOT PLANTING    |
|  | LARGE SHADE TREE          |  | OFFICE ACCENT PLANTING  |
|  | COLUMNAR DECIDUOUS TREE   |  | PROJECT ACCENT PLANTING |
|  | FLW. ACCENT TREE          |  | SCREEN PLANTING         |
|  | SMALL TREE OR LARGE SHRUB |  | FOUNDATION PLANTING     |
|  | VINE                      |  | PERENNIALS              |
|  | EXISTING TREE             |  | DETENTION BASIN         |
|  |                           |  | SECOND AREA STREETSCAPE |
- REFER TO PLANT LEGENDS SHEET LC1.3 FOR PLANT TYPES  
PRELIMINARY PLANTS PER AREA



MATCHLINE SEE SHEET LC1.1



LEGEND

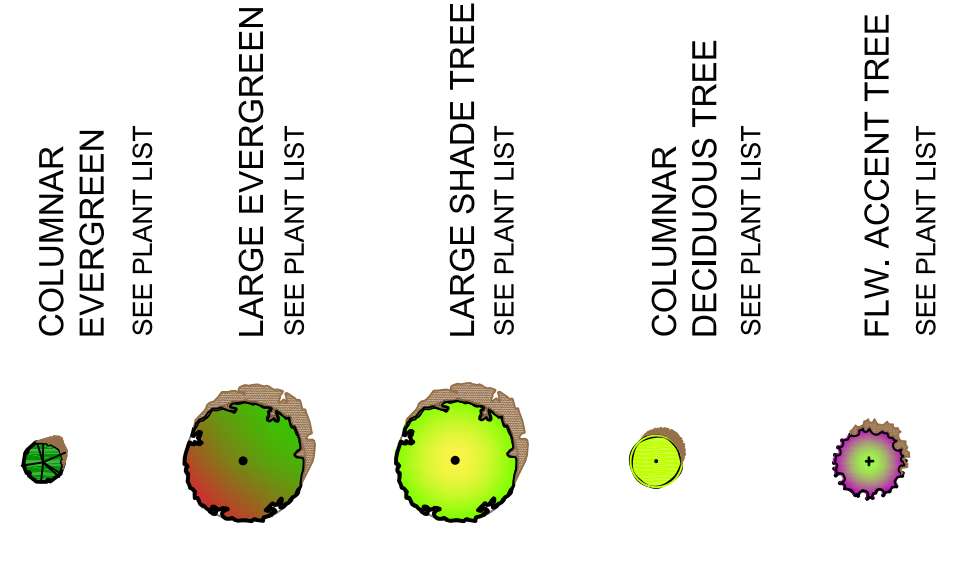
	COLUMNAR EVERGREEN		PARKING LOT PLANTING
	LARGE EVERGREEN		OFFICE ACCENT PLANTING
	LARGE SHADE TREE		PROJECT ACCENT PLANTING
	COLUMNAR DECIDUOUS TREE		SCREEN PLANTING
	FLW. ACCENT TREE		FOUNDATION PLANTING
	SMALL TREE OR LARGE SHRUB		PERENNIALS
	VINE		DETENTION BASIN
	EXISTING TREE		SECOND AREA STREETSCAPE

REFER TO PLANT LEGENDS SHEET LC1.3 FOR PLANT TYPES  
PRELIMINARY PLANTS PER AREA



1" = 40'  
0 20 40 80  
Manufacturing Facility - The Oaks Progress DB 200 Preliminary Plan

LANDSCAPE LEGEND



LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 39.82 ACRES
TOTAL PARKING AREA = 390,590 S.F.
W. JACK LONDON STREET FRONTAGE LANDSCAPE REQUIRED 35' WIDE (PROVIDED)
DISCOVERY STREET FRONTAGE LANDSCAPE REQUIRED 30' WIDE (PROVIDED)
COVEY STREET FRONTAGE LANDSCAPE REQUIRED 25' WIDE (PROVIDED)
TOTAL PARKING FRONTAGE LANDSCAPE REQUIRED = 135,000 S.F.
SITE AREA LANDSCAPE REQUIRED = 179,596 S.F.
SITE AREA LANDSCAPE PROVIDED = 179,596 S.F.
BUILDING FACADE FACING STREET LANDSCAPE REQUIRED 5' WIDE
PERIMETER LANDSCAPE REQUIRED 5' WIDE
PARKING AREA LANDSCAPE REQUIRED 16% OF PARKING AREA = 52,894 S.F.
PARKING SPACES PROVIDED = 845
PARKING AREA TREES REQUIRED 1/6 SPACES = 141
PARKING AREA TREES PROVIDED = 165

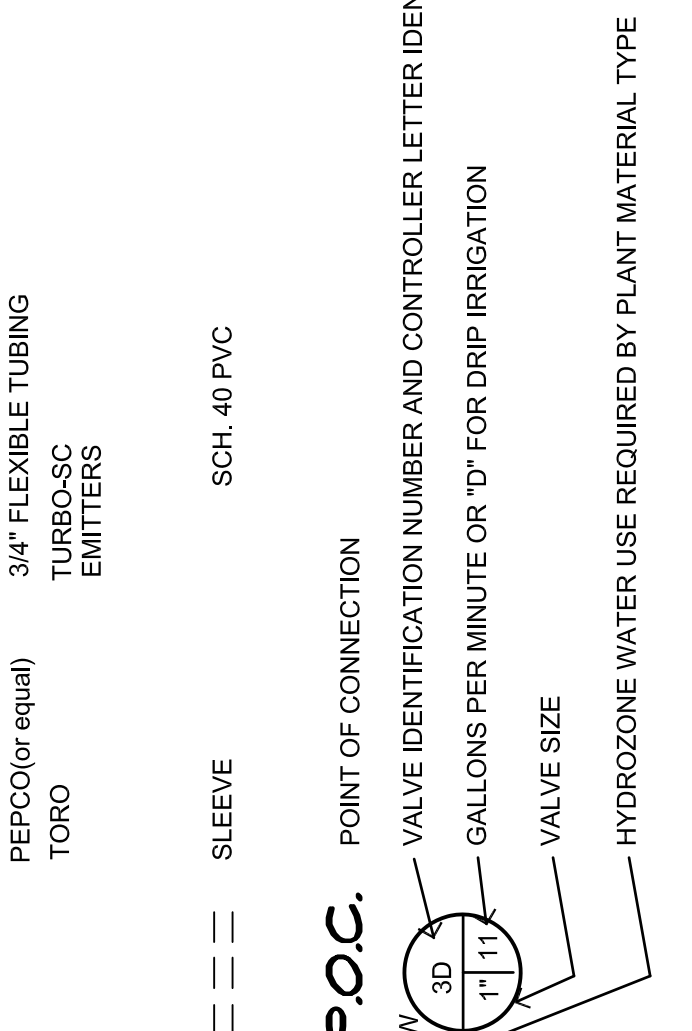
NOTE: PARKING AREA INCLUDES THE FOLLOWING:
1. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS
2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS

PLANT LIST

Table with columns: 'N' CA NATIVE, BOTANICAL NAME, COMMON NAME, SIZE, WATER REGIME ZONE, MATURE HABIT. Lists various plants like Calceolus, Prunus, and Salix with their characteristics.

IRRIGATION LEGEND

Table with columns: SYMBOL, MFG., SERIES/MODEL, COMMENTS, PSI, RADIUS, GPM. Lists irrigation components like Rainbird, Hunter, Toro, and Pexco with their specifications.



NOTE: HYDROZONES WILL BE PER VALVE AREA OF INFLUENCE. A DESIGNATION OF HIGH, MEDIUM OR LOW IS SHOWN ADJACENT TO THE VALVE CALL OUT TO DESIGNATE THE WATER USE OF THE HYDROZONE.

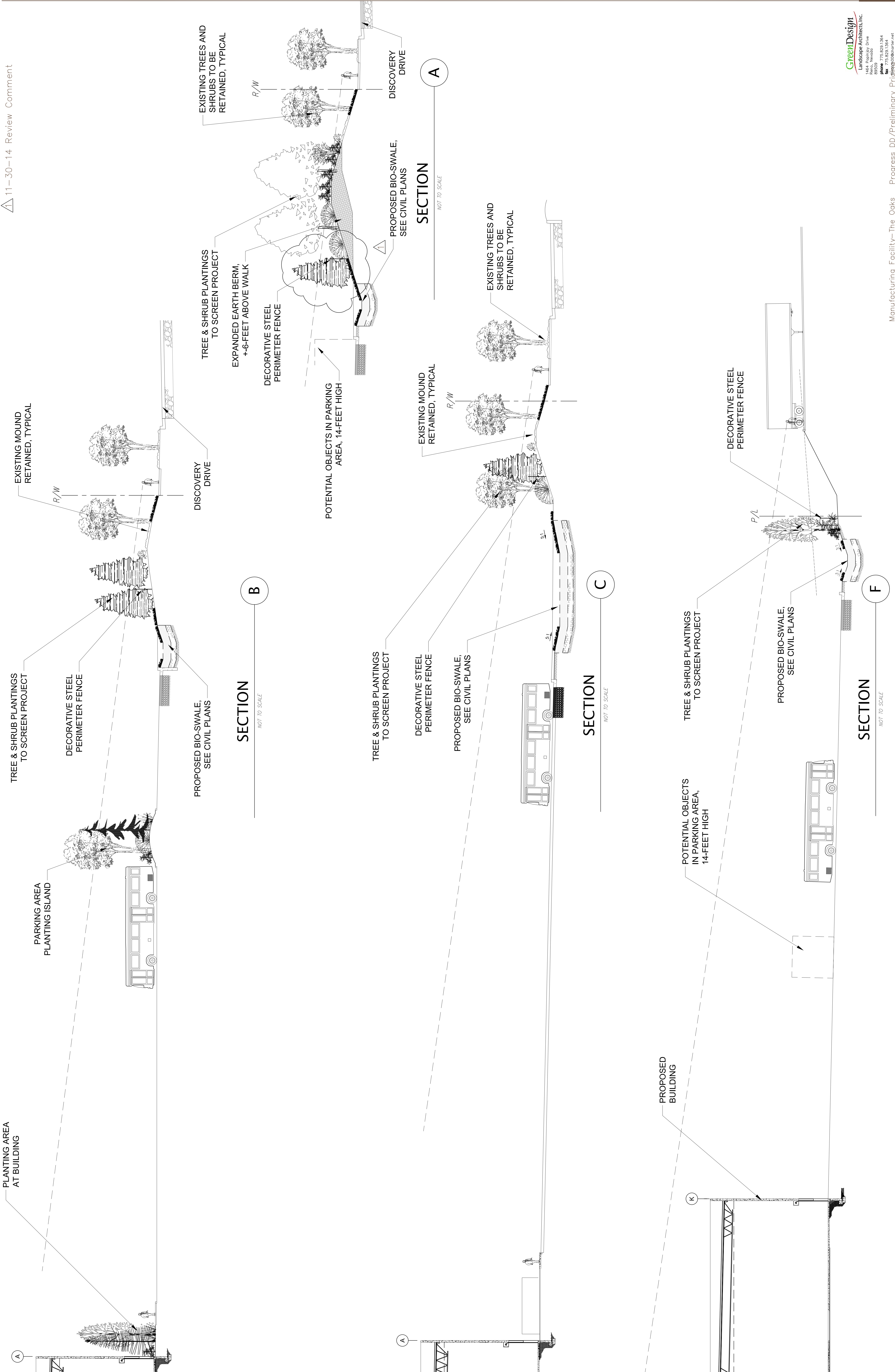
WATER EFFICIENT LANDSCAPE REQUIREMENTS

ALL IRRIGATION EITHER PERMANENT OR TEMPORARY SHALL BE AUTOMATIC TIMER CONTROLLED. PERMANENTLY IRRIGATED SHRUBS AND TREES SHALL BE DRIP IRRIGATED. AUTOMATIC CONTROLLER ET DATA. REPEAT CYCLING MINIMAL DROUGHT TOLERANT TURF - EMPLOYEES AREA ONLY HUNTER MULCHER FOR TURF AREAS. SLOPES LESS THAN 5% IN HEIGHT HUNTER MULCHER FOR TURF AREAS. SOIL MOISTURE SENSOR TO BE SPECIFIED SOIL AMENDMENTS TO BE INCORPORATED PLANTER SURFACE AREAS TO BE MULCHED WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD

Table with 2 columns: PRELIMINARY LANDSCAPE AREA PER HYDROZONE, and values in S.F. for Detention Basin, Bio-Swales, Streetscape, New Trees, New Shrub Area, and Total Landscaping Area.

Preliminary Water Use:
Maximum Applied Water Allowance (MAWA) = 4,793,820
Estimated Total Water Use (ETWU) = 3,339,651
ETWU complies with MAWA
Refer to attached water calculation sheets





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